

# SMITH RESIDENCE

WELD COUNTY, COLORADO

## GENERAL NOTES

- 1. Do not scale these drawings.**
  - Verify all dimensions and conditions prior to commencing work or ordering materials.
  - Any variation should be brought to the attention of the Owner and Architect.
- 2. Framing Dimensions**
  - All dimensions are to the face of the foundation and framing studs at new walls, or edge of rough opening unless noted otherwise.
- 3. Existing Conditions**
  - It is the responsibility of the Contractor(s) to examine the existing conditions prior to submitting a bid to the Builder as proposals must take into account all such conditions which may affect the work.
  - Discrepancies in the drawings and actual field conditions shall be reported to the Architect. Corrected drawings or instructions shall be issued by the Owner prior to the commencement of the work.
- 4. Code Compliance**
  - This project shall comply with current adopted codes including:
    - 2018 International Residential Code
    - 2018 International Fuel Gas Code
    - 2018 International Plumbing Code
    - 2018 International Mechanical Code
    - 2018 International Energy Conservation Code
    - 2017 National Electrical Code
    - Local Amendments to any of the above
  - It is the responsibility of anyone supplying labor, materials, or both to bring to the attention of the Architect and Builder any discrepancies or conflicts between requirements of these codes or standards and the drawings.
- 5. Utility Connections**
  - Contractor shall coordinate and field verify utility connections, their routing, meter locations, hose bibs and other associated items.
  - Coordinate septic system design per Owner and system designer.
- 6. Manuals and Warranties**
  - All manuals and warranties of all materials and equipment are to be furnished to the Owner upon completion of the project.
- 7. Completeness of Documentation**
  - The details shown are intended to further illustrate the visual design concept and minimum weather protection requirements for this project. The Contractor(s) shall incorporate the requirements of the local building codes, structural considerations, trade association manuals, publications and recommendations and the manufacturer's written instructions for complete construction of details. All possible field conditions that may be encountered are not necessarily described. Field conditions encountered that require clarification shall be brought to the Builder's and Architect's attention.
- 8. Foundations**
  - New Foundations per Structural Engineer's Plans and Details.
  - Dampproof exterior face of foundation from base of wall to min. 6" above finished grade.
  - Provide perimeter drain around full perimeter of lower level. Drain to daylight.
- 9. Concrete and Reinforcement**
  - New concrete and reinforcement per Structural Engineer's Plans and Details.
  - All wood in direct contact with concrete shall be pressure treated, or provide waterproof and vapor-proof membrane between framing and concrete.
- 10. Typical Floor Assembly**
  - Crawl space under Lower Level floor to be +/- 24" deep with min. 6mil vapor barrier throughout. Seal all seams in vapor barrier and seal to foundation elements. Crawl space to be fully vented with conditioned interior air.
  - Lower Level floor to be concrete structural floor slab over steel subfloor framing per Structural Engineer. Prep concrete subfloor as required to receive finished flooring.
  - Main Level floor to be wood truss framed per Structural Engineer with O.S.B. sheathing screwed and glued to trusses. Provide min. R-38 fully encapsulated insulation at all cantilevered floors and floors over unconditioned space.
- 11. Typical Wall Types**
  - Exterior walls to be 2x6 wood stud framed walls @ 16" o.c. with min R-21 blown-in cellulose or closed cell spray foam insulation in wall cavities. Sheath exterior per Structural Engineer's requirements and provide vapor permeable air barrier over exterior face of sheathing. Finish exterior per elevations.
  - Interior walls to be 2x4 wood stud framed walls @ 16" o.c. unless noted otherwise. Fill wall cavities around all bathrooms and bedrooms with acoustic batt insulation.
  - Provide 5/8" Type 'X' gypsum wall board on garage face of walls between garage and house.
  - Provide finished 1/2" gypsum wall board on all interior finished faces.
  - Finish wall board per owner.
- 12. Typical Roof Assembly**
  - Sloped roofs to be wood truss or wood rafter framed per Structural Engineer's plans and details. Truss cavity to be ventilated with continuous soffit and ridge vents throughout. Provide min. R-49 blown-in insulation above ceiling in truss cavity.
  - Arched (barrel) roofs to be formed with curved glu-lam beams and wood perlin's per Structural Engineer's plans. Provide min. R-49 closed cell spray foam insulation tight to underside of roof sheathing in cavities between perlin's. Fill remainder of the cavity depth with loose-fit batt insulation.
  - Sheath exterior of roof assembly with sheathing per Structural Engineering plans and details.
  - Roofing to be concrete tile or standing seam metal where shown per elevations and roof plan. Provide manufacturer recommended underlayment appropriate for each roofing type at each roof location.
  - Provide fully adhered ice-and-water-shield underlayment at all roof eaves and valleys.
  - Provide 2x blocking in ceilings for installation of decorative timber beams.
  - Ceilings to be 1/2" sag resistant gypsum wall board. Provide cont. vapor barrier above finished ceiling throughout.
  - Finish ceilings per Owner.
- 13. Doors**
  - Exterior doors to be aluminum clad wood doors with U=0.32 or better.
  - Interior doors to be solid core wood doors
  - Garage entry door to be solid core wood door with min. 20 minute fire rating, smoke seals, and closer.
  - All door styles and hardware per Owner.
- 14. Windows**
  - Exterior windows to be aluminum clad wood or fiberglass framed windows (per Owner).
  - All exterior glazing to be double paned with Low-E coating. Provide U=0.32 or better.
  - See plans, elevations, and window schedule of window operation.
  - Provide tempered safety glazing where shown per plan and as required per code.
  - Verify window egress compliance where shown per plan.
- 15. Heating, Ventilation, and Air Conditioning**
  - New HVAC system to be forced air. See Mechanical Drawing for location.
  - Equipment sizing and ducting to match Manual J, D and S requirements.
  - Provide digital setback type thermostat.
  - Furnace to be min. 92% AFUE w. ECM Blower Motor.
- 16. Electrical**
  - See Electrical plans for electrical outlet, switch, and fixture locations.
  - Provide back-up generator and generator controls where shown per plan. Generator and controls per Owner.
  - Rough-in for future rooftop photovoltaic solar panels.
  - All recessed cans to be sealed and I.C. rated.
- 17. Plumbing**
  - See mechanical for hookups and layouts. See architectural for basic plan layout.
  - All new fixtures to be low-flow fixtures except at kitchen sink and M. Bathroom shower.
  - Provide 100 gallon gas-fired water heater with recirculating loop. Provide digital timer control for recirculating loop pump.
  - All hot water lines to be insulated with min R-3 pipe insulation.
- 18. GENERAL:**
  - These plans and details have been designed for construction at one specific location. These plans and details shall not be used for any other building location.
  - Submit all shop drawings product information for Architect's and Owner's approval.



FOR CONSTRUCTION

### ZONING DATA

Zoning: A1-Agricultural One  
 Principal Use: Single Family Residential  
 Setbacks: Defined building envelope  
 Building Height: 35'-0" Maximum height to midpoint of highest gable  
 Height Reference Datum: 10' higher than the lowest adjoining grade.  
 Height of a stepped building is the maximum height of any segment of the building.

### BUILDING DATA

Building Areas:  
 Lower Floor: 2378 SF  
 Finished: 639 SF  
 Patio: 416 SF  
 Main Floor: 2879 SF  
 Finished: 1643 SF  
 Garage: 108 SF  
 Deck: 416 SF  
 Patio: 1012 SF

Buildign Height: 1 Story (plus Lower Level), 17' - 7"

Occupancy: R-Residential  
 Construction Type: V-B  
 Fire Sprinkler: None

### PROJECT TEAM

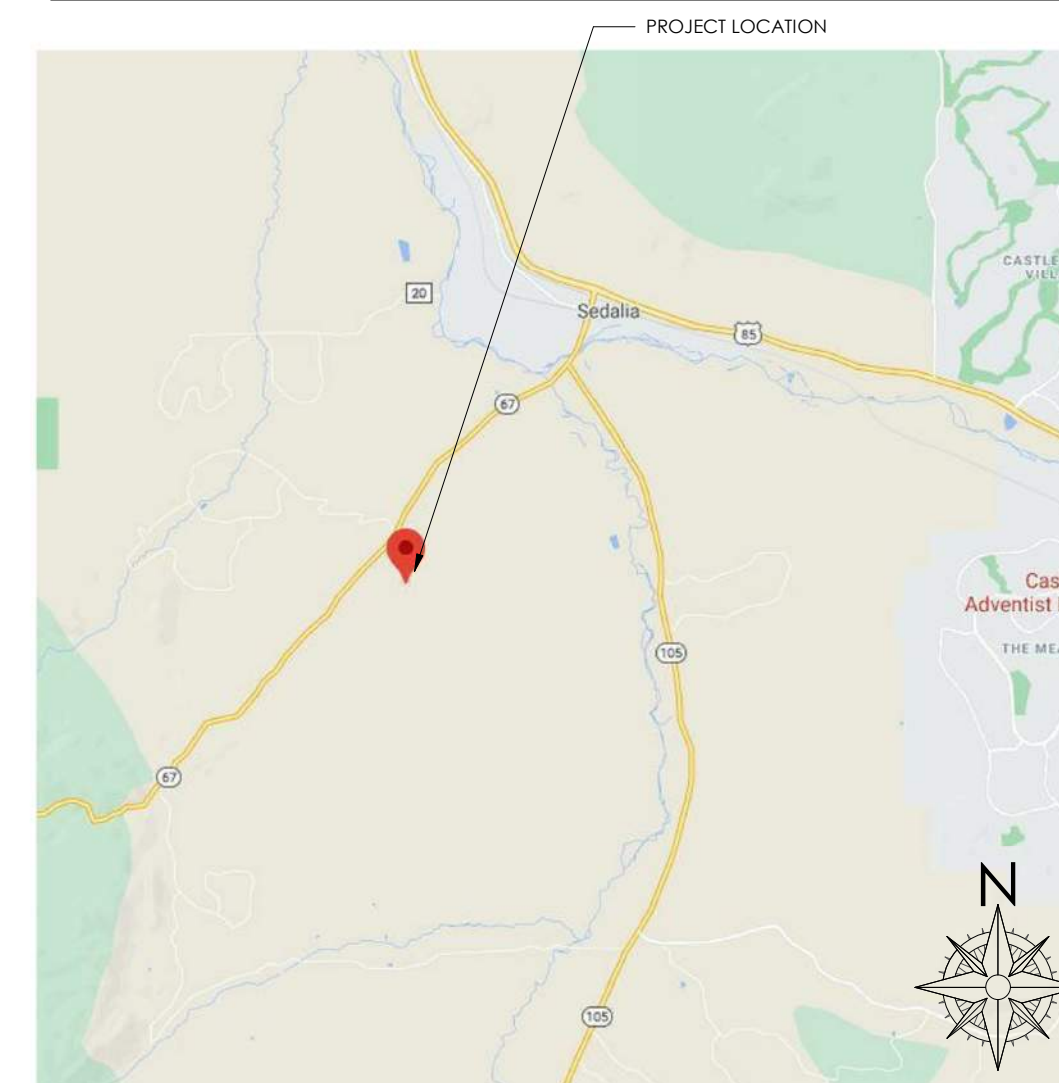
**Architect:**  
 Lodestone Design Group  
 PO Box 440  
 206 Fifth Street, Suite 200  
 Frederick, CO 80530-0440  
 P: 303-800-8633  
 Contact: Jeff Van Sambaek, Architect  
 jeff@lodestonegroup.com

**General Contractor:**  
 COMPANY  
 CONTACT  
 ADDRESS  
 PHONE

**Structural Engineer:**  
 COMPANY  
 CONTACT  
 ADDRESS  
 PHONE

**HVAC Design:**  
 COMPANY  
 CONTACT  
 ADDRESS  
 PHONE

### VICINITY MAP



### SHEET INDEX

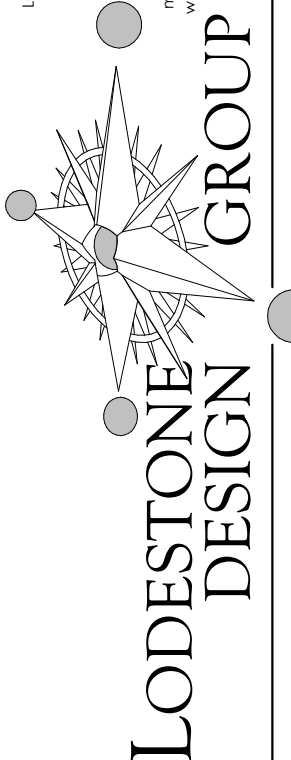
C0.0	COVER SHEET
A0.0	SITE PLAN
A0.1	3D VIEWS
A0.2	3D VIEWS
A1.0	LOWER LEVEL PLAN
A1.1	MAIN FLOOR PLAN
A1.2	ROOF PLAN
A1.3	REFLECTED CEILING PLANS
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.0	WALL SECTIONS
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
E1.0	LOWER LEVEL ELECTRICAL PLAN
E1.1	MAIN LEVEL ELECTRICAL PLAN

**SMITH RESIDENCE**  
 123 S MAIN STREET  
 WELD COUNTY, COLORADO

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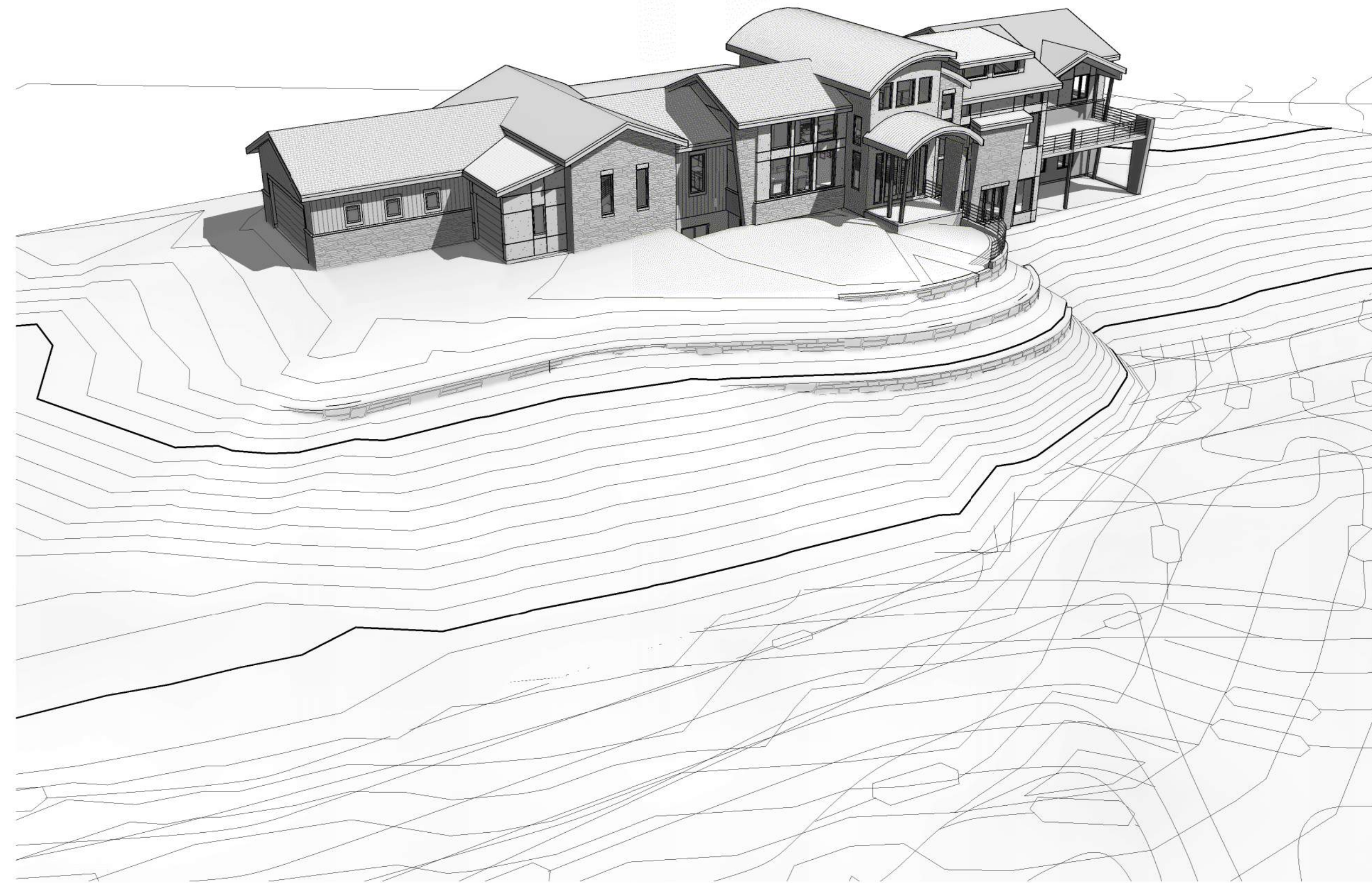
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 PHONE: 303-800-8633  
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**C0.0**





1 EASTERN BIRDSEYE VIEW  
SCALE:

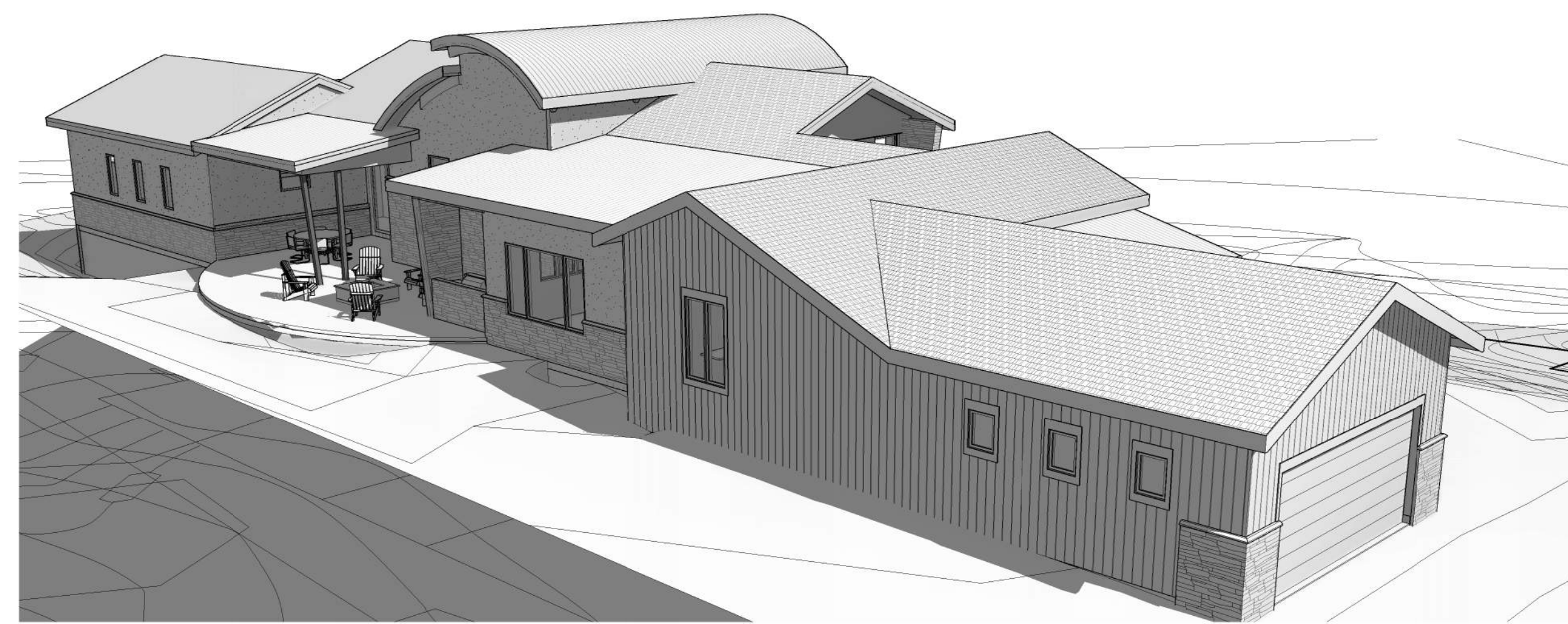


2 WESTERN BIRDSEYE VIEW  
SCALE:

NOT FOR CONSTRUCTION



3 VIEW FROM SOUTH  
SCALE:



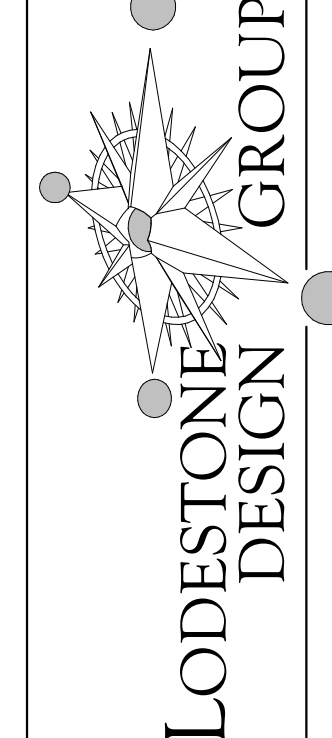
4 VIEW FROM SOUTHEAST  
SCALE:

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DOOR SCHEDULE				
Type Mark	Width	Height	Comments	Count
01	2'-6"	8'-0"		4
02	2'-10"	8'-0"		1
03	3'-0"	8'-0"		17
04	2'-0"	8'-0"		1
05	4'-0"	8'-0"		1
06	5'-0"	6'-8"		1
07	6'-0"	8'-0"		1
08	6'-0"	6'-8"		2
09	6'-0"	8'-0"		2
10	12'-0"	8'-0"		3
11	10'-0"	8'-0"		1
12	18'-0"	8'-0"		1
45	0"	0"		1
116	0"	0"		1

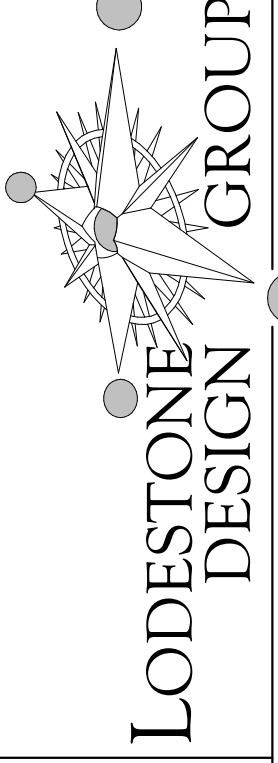
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B	2'-0"	2'-6"		Fixed	6	
C	2'-0"	4'-6"		Fixed	8	
D	2'-0"	6'-0"	8'-0"	Fixed	9	
E	2'-6"	2'-6"		Fixed	3	
F	2'-6"	4'-0"	8'-0"	Cosement	2	
G	2'-6"	4'-0"	18'-9"	Fixed	2	
H	2'-6"	6'-0"		Fixed	2	
J	3'-6"	2'-6"		Fixed	5	
K	3'-6"	4'-0"		Fixed	5	
L	3'-6"	6'-0"	8'-0"	Fixed	3	
M	4'-0"	2'-0"	11'-6"	Fixed	2	
N	4'-0"	6'-0"	8'-0"	Fixed	4	
O	5'-0"	2'-0"	16'-10"	Fixed	2	
P	5'-0"	2'-6"	8'-0"	Fixed	1	
R	3'-0"	2'-0"	11'-6 3/8"	Fixed	3	
S	6'-0"	6'-0"	8'-0"	Slider	1	
T	2'-0"	6'-0"	8'-0"	Cosement	4	
U	2'-6"	5'-0"	8'-0"	Cosement	2	
V	3'-0"	5'-0"	9'-0"	Cosement	1	
W	5'-0"	5'-0"	8'-0"	Slider	1	
X	2'-0"	4'-6"	8'-0"	Cosement	7	
Y	2'-6"	6'-0"	8'-0"	Cosement	5	
Z	5'-0"	6'-0"	8'-0"	Fixed	2	

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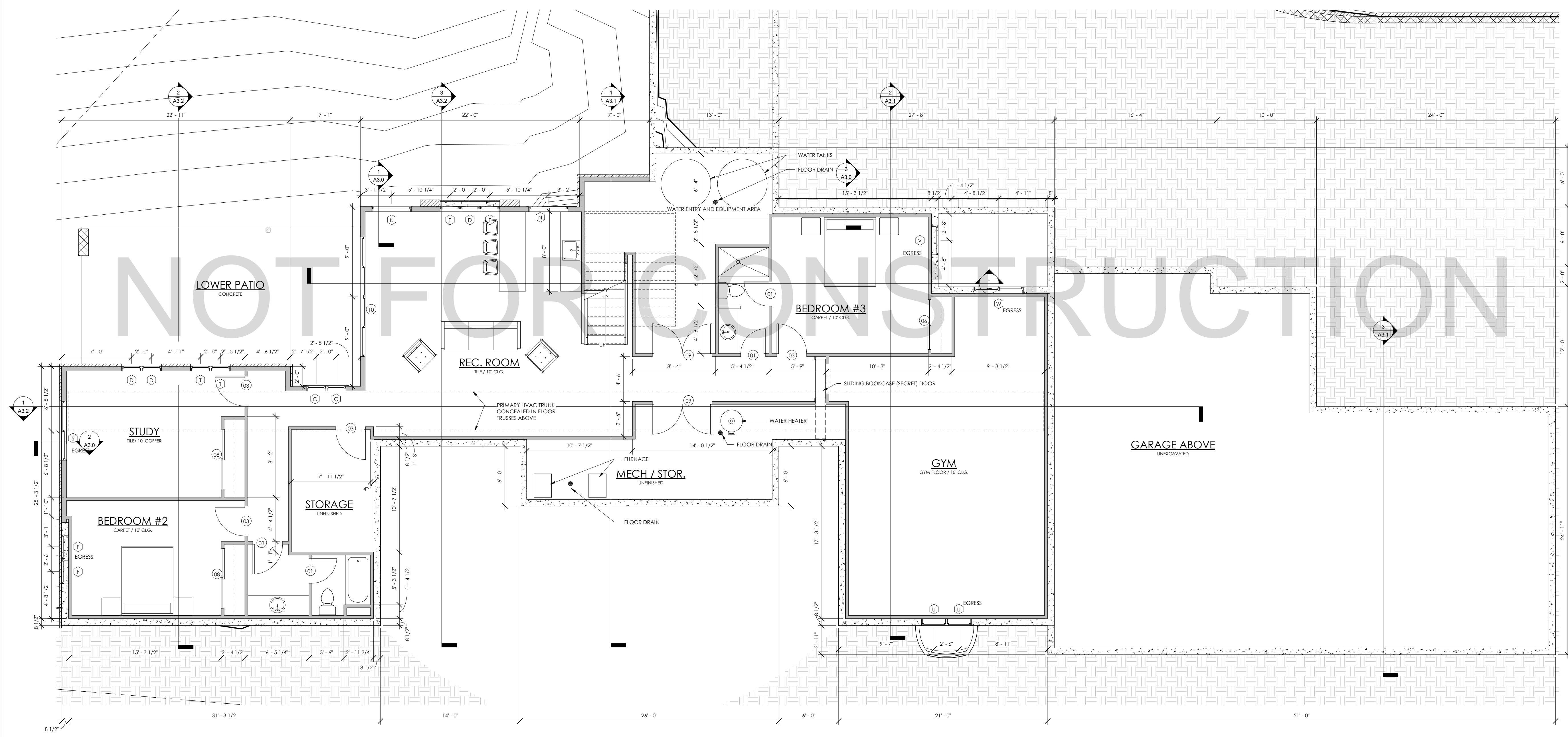
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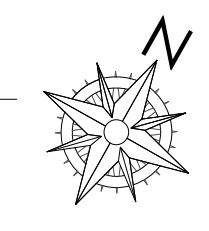
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**A1.0**

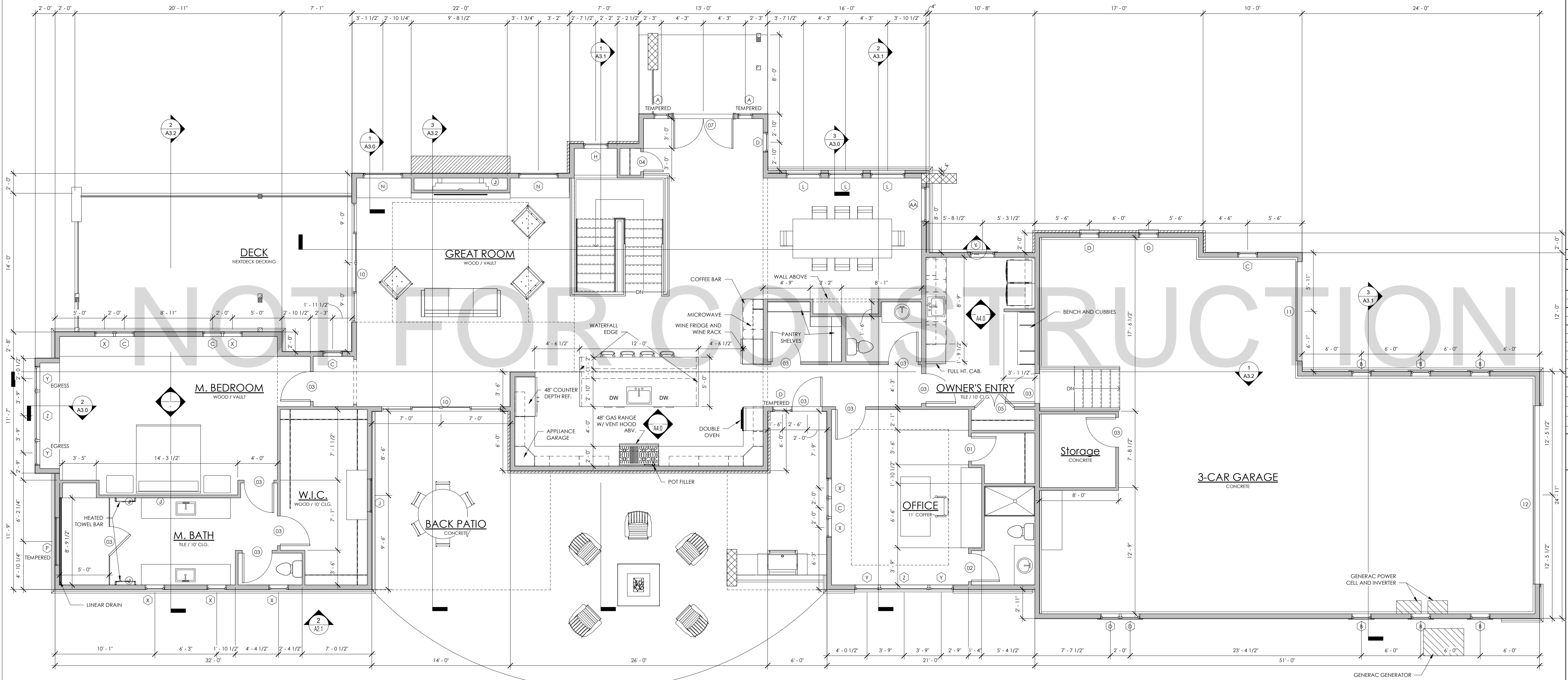


**1 LOWER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE				
Type Mark	Width	Height	Comments	Count
01	2'-6"	8'-0"		4
02	2'-10"	8'-0"		1
03	3'-0"	8'-0"		17
04	2'-0"	8'-0"		1
05	4'-0"	8'-0"		1
06	5'-0"	6'-8"		1
07	6'-0"	8'-0"		1
08	6'-0"	6'-8"		2
09	6'-0"	8'-0"		2
10	12'-0"	8'-0"		3
11	10'-0"	8'-0"		1
12	18'-0"	8'-0"		1
45	0'	0'		1
116	0'	0'		1

WINDOW SCHEDULE						
Type Mark	Width	Height	Head Height	Description	Count	Comments
A	1'-6"	8'-0"	8'-1"	Fixed	2	Tempered
AA	3'-6"	6'-0"	8'-0"	Casement	1	
B	2'-0"	2'-6"		Fixed	6	
C	2'-0"	4'-6"		Fixed	8	
D	2'-0"	6'-0"	8'-0"	Fixed	9	
E	2'-6"	2'-6"		Fixed	3	
F	2'-6"	4'-0"	8'-0"	Casement	2	
G	2'-6"	4'-0"	18'-9"	Fixed	2	
H	2'-6"	6'-0"		Fixed	2	
J	3'-6"	2'-6"		Fixed	5	
K	3'-6"	4'-0"		Fixed	5	
L	3'-6"	6'-0"	8'-0"	Fixed	3	
M	4'-0"	2'-0"	11'-6"	Fixed	2	
N	4'-0"	6'-0"	8'-0"	Fixed	4	
O	5'-0"	2'-0"	16'-10"	Fixed	2	
P	5'-0"	2'-6"	8'-0"	Fixed	1	
R	3'-0"	2'-0"	11'-6 3/8"	Fixed	3	
S	6'-0"	6'-0"	8'-0"	Casement	1	
T	2'-0"	6'-0"	8'-0"	Casement	4	
U	2'-6"	5'-0"	8'-0"	Casement	2	
V	3'-0"	5'-0"	9'-0"	Casement	1	
W	5'-0"	5'-0"	8'-0"	Casement	1	
X	2'-0"	4'-6"	8'-0"	Casement	7	
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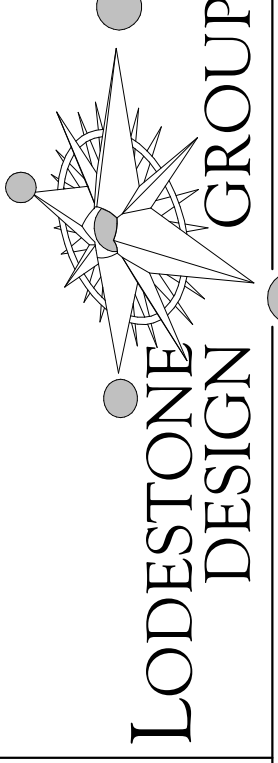


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123 S MAIN STREET  
WELD COUNTY, COLORADO

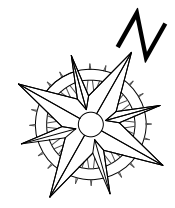
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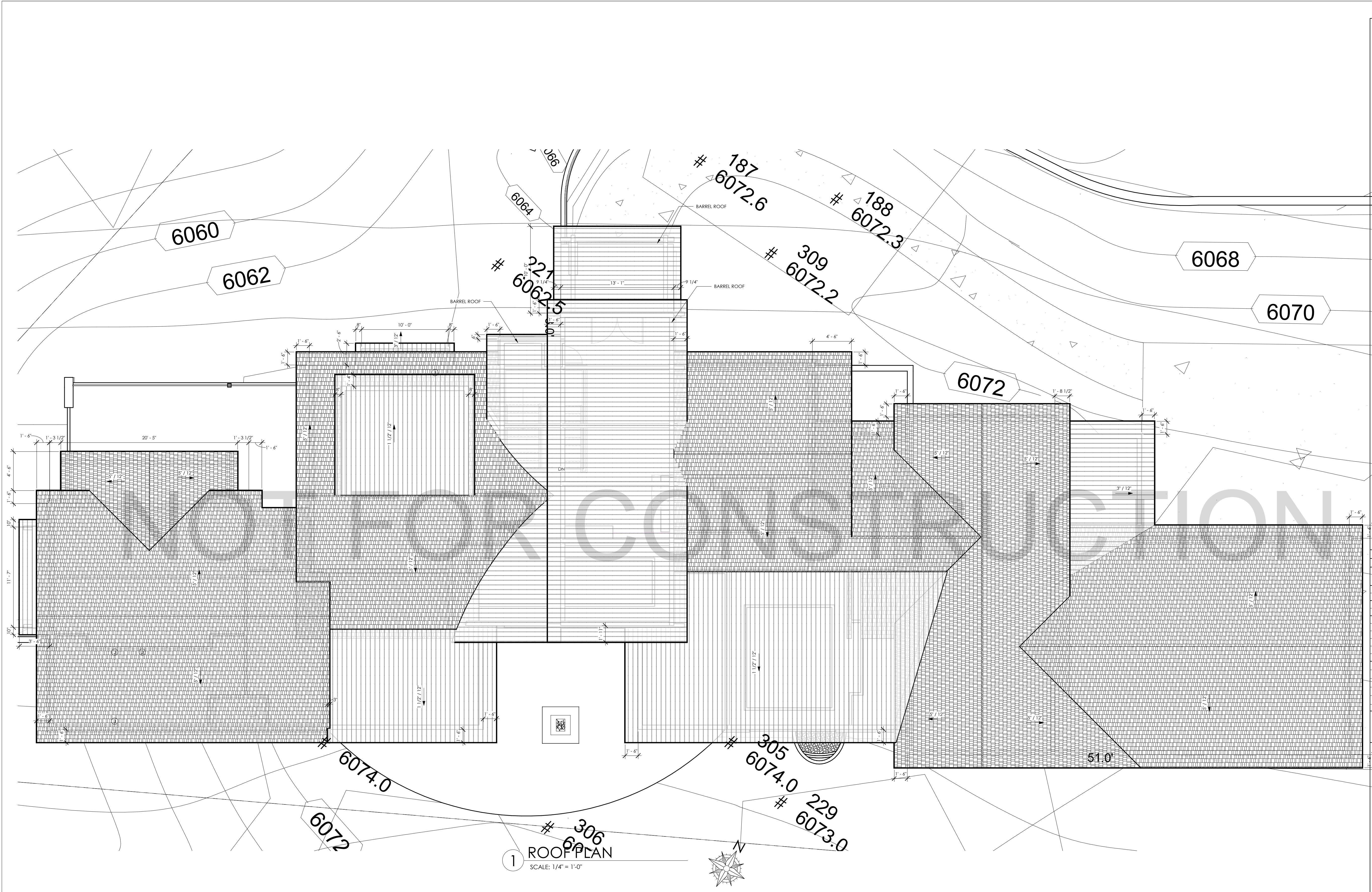
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**1 MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



**A1.1**



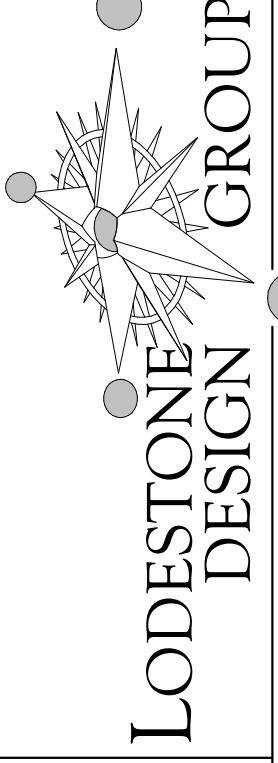
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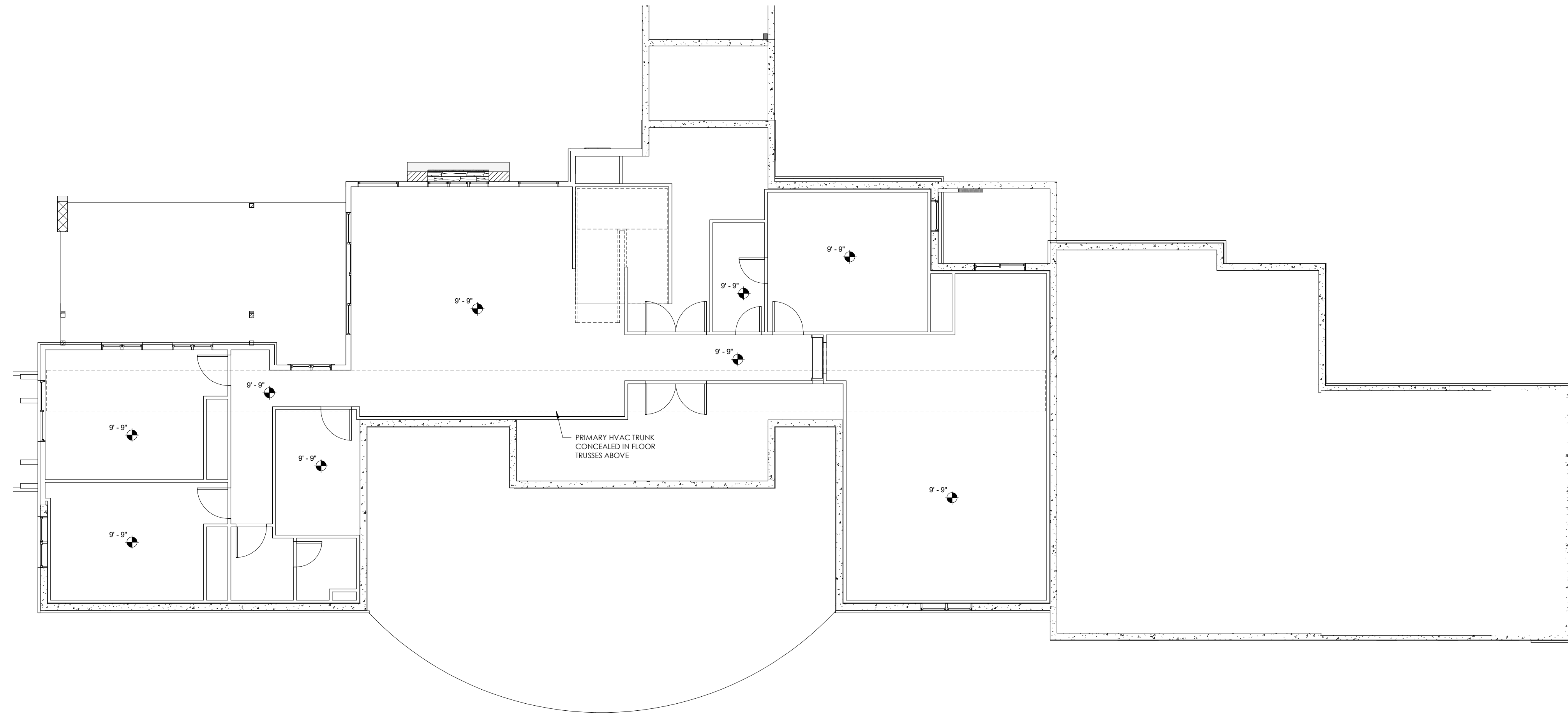
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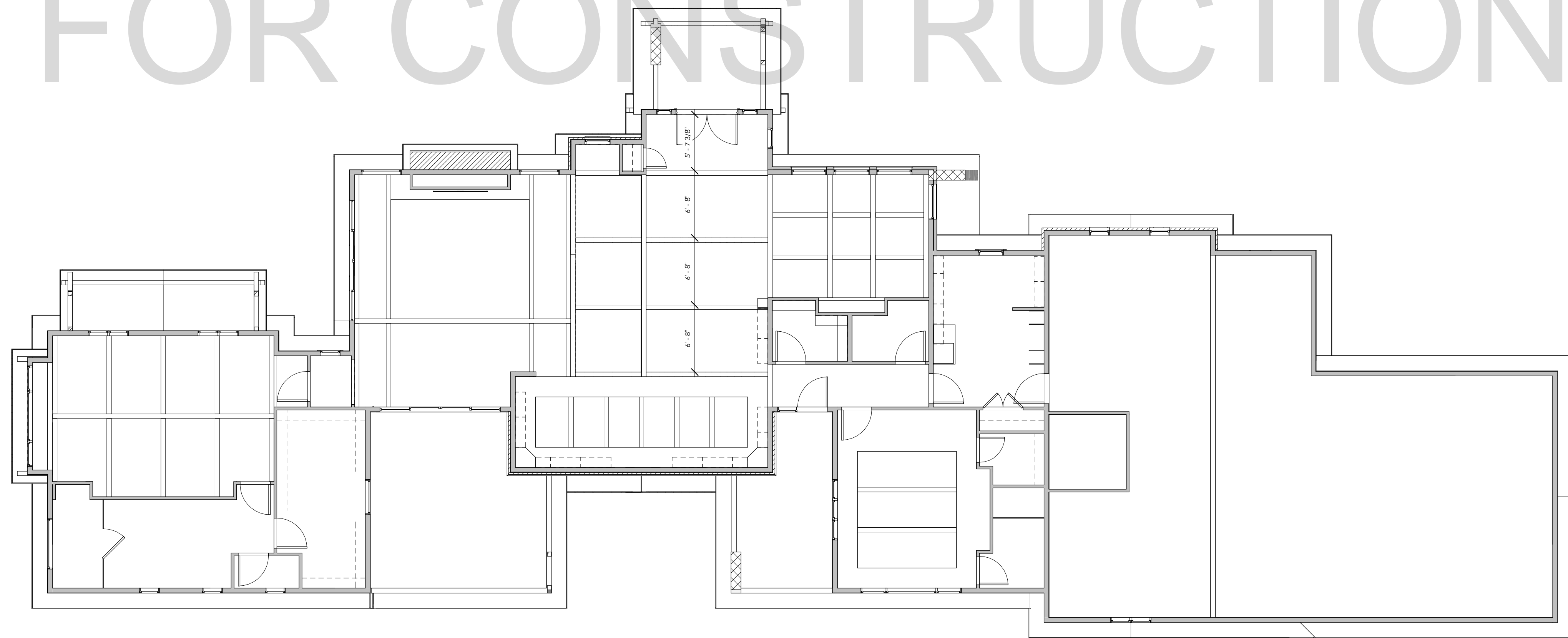
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1 LOWER LEVEL R.C.P.  
SCALE: 3/16" = 1'-0"



2 MAIN LEVEL R.C.P.  
SCALE: 3/16" = 1'-0"

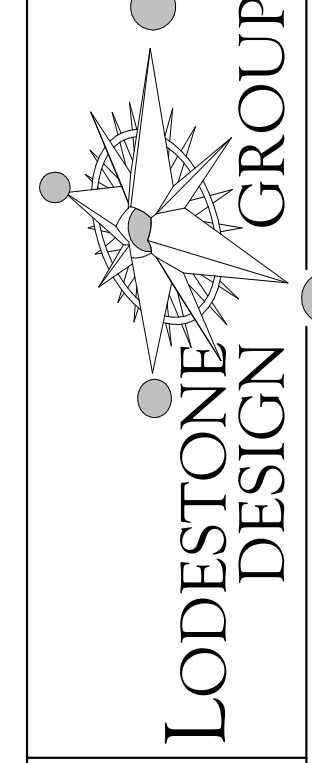
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123 S MAIN STREET  
WELD COUNTY, COLORADO

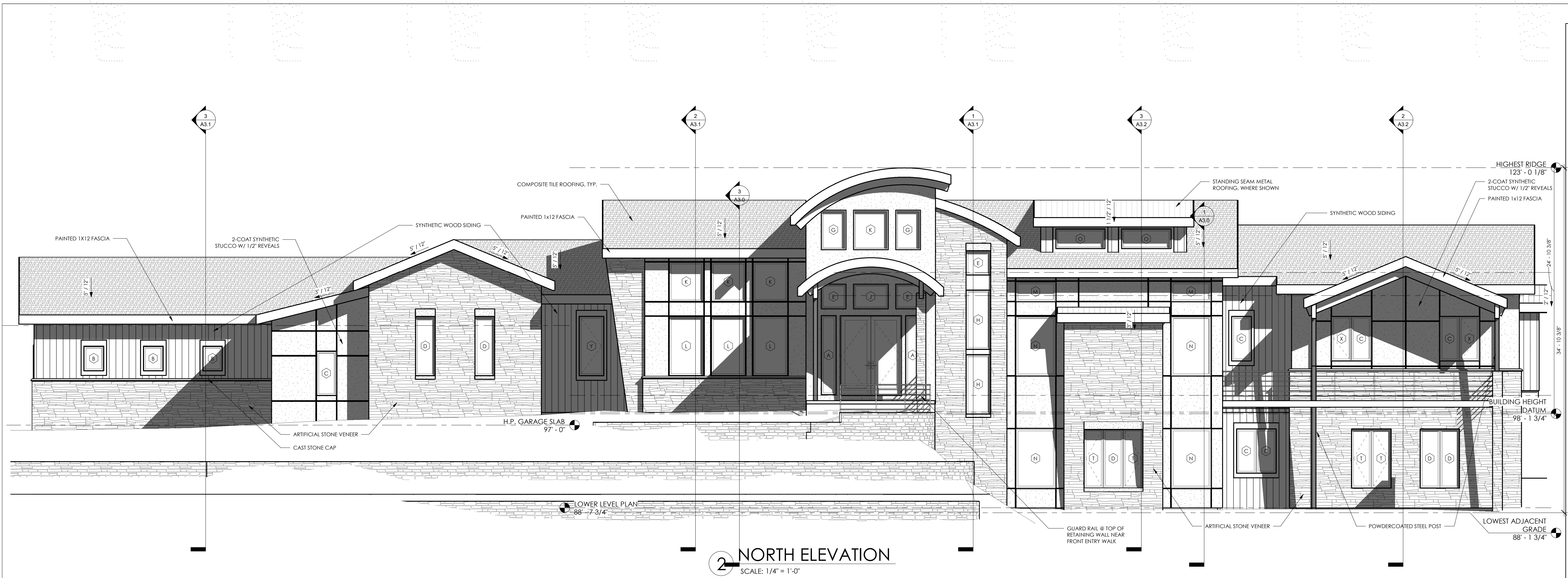
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A1.3



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

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**BUILDING ELEVATIONS / HEIGHTS:**

	ARCH. HT.	CIVIL ELEV.
LOWER LEVEL SLAB	88'-3 3/4"	6072.0'
H.P. @ GARAGE SLAB	97'-0"	6075.0'
MAIN LEVEL SUBFLOOR	100'-0"	6078.0'
TYP. MAIN LEVEL PLATE	110'-1 1/8"	6098.0'
HIGHEST RIDGE	123'-0 1/8"	6098.0'
BUILDING HT. DATUM	98'-3 3/4"	6075.2'
BUILDING HEIGHT DATUM IS 10' ABV. LOWEST ADJ. GRADE		
BUILDING HEIGHT PER CODE DEFINITION: 24'-10 3/8"		



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

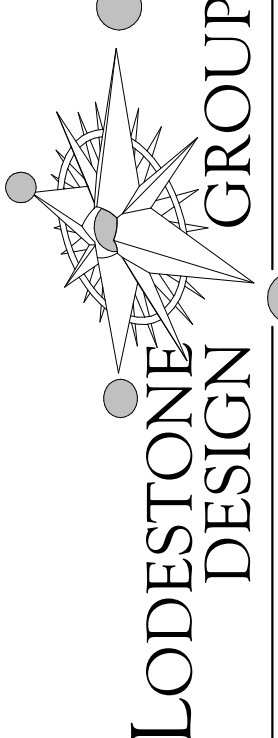
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WELD COUNTY, COLORADO

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ELEVATIONS  
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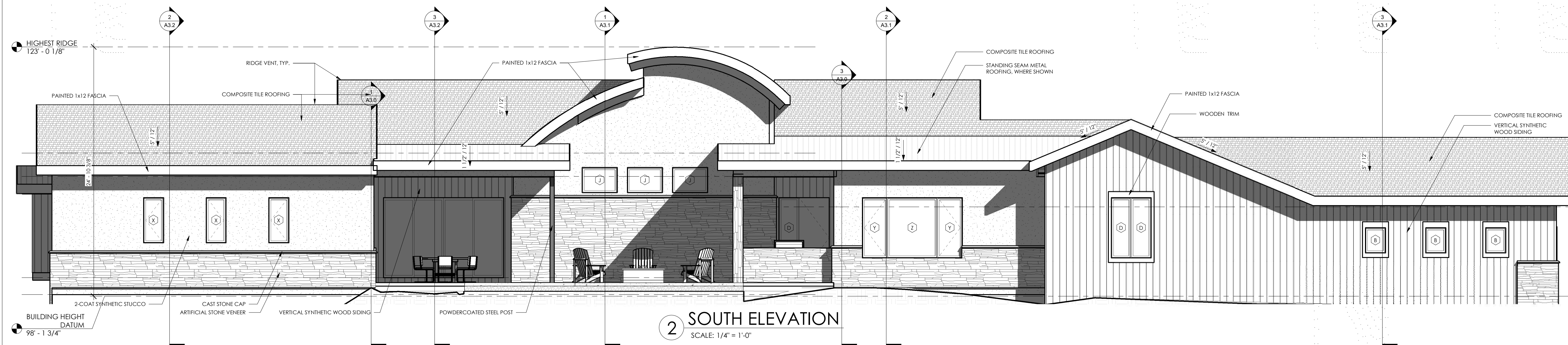
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**A2.0**



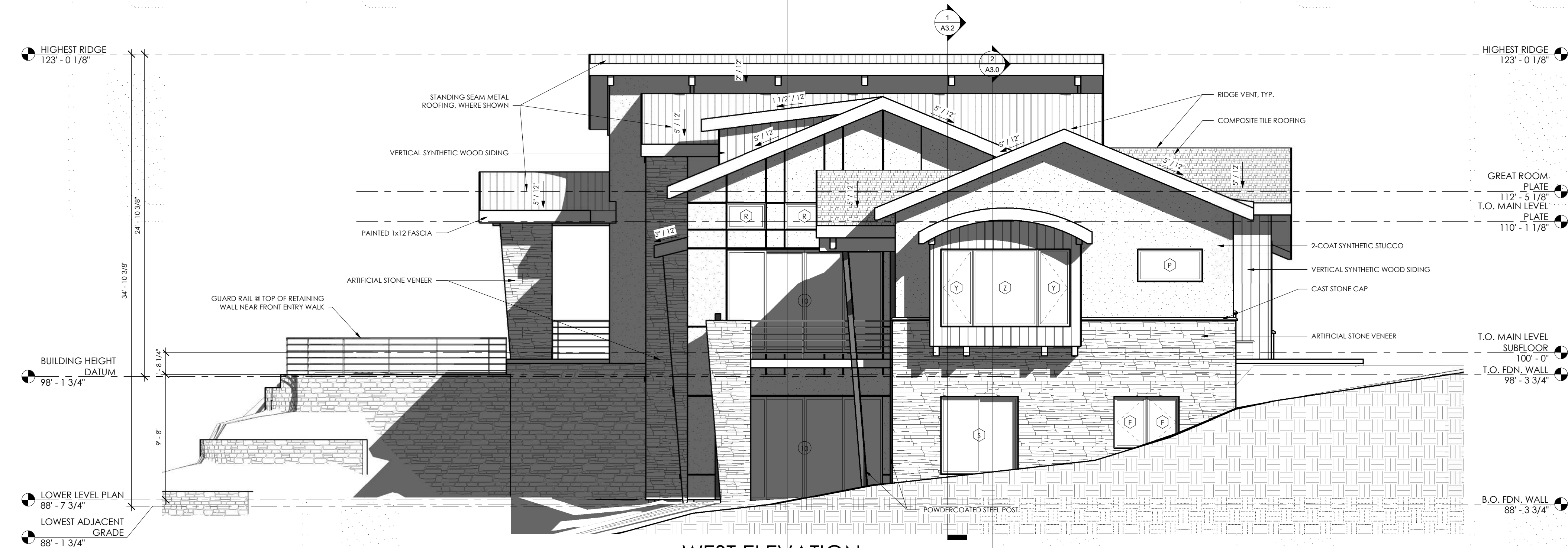


**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

**BUILDING ELEVATIONS / HEIGHTS:**

	ARCH. HT.	CIVIL ELEV.
LOWER LEVEL SLAB:	88'-7 3/4"	6075.0'
H.F. @ GARAGE SLAB:	97'-0"	6075.0'
MAIN LEVEL SUBFLOOR:	100'-0"	6075.0'
TYP. MAIN LEVEL PLATE:	110'-1 1/8"	6098.0'
HIGHEST RIDGE:	123'-0 1/8"	6098.0'
BUILDING HT. DATUM:	98'-1 3/4"	6075.2'
BUILDING HEIGHT DATUM IS 10' ABV. LOWEST ADJ. GRADE		
BUILDING HEIGHT PER CODE DETERMINATION: 24'-10 3/8"		



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

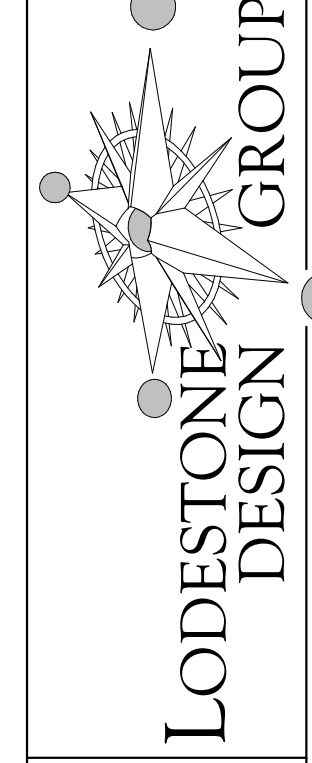
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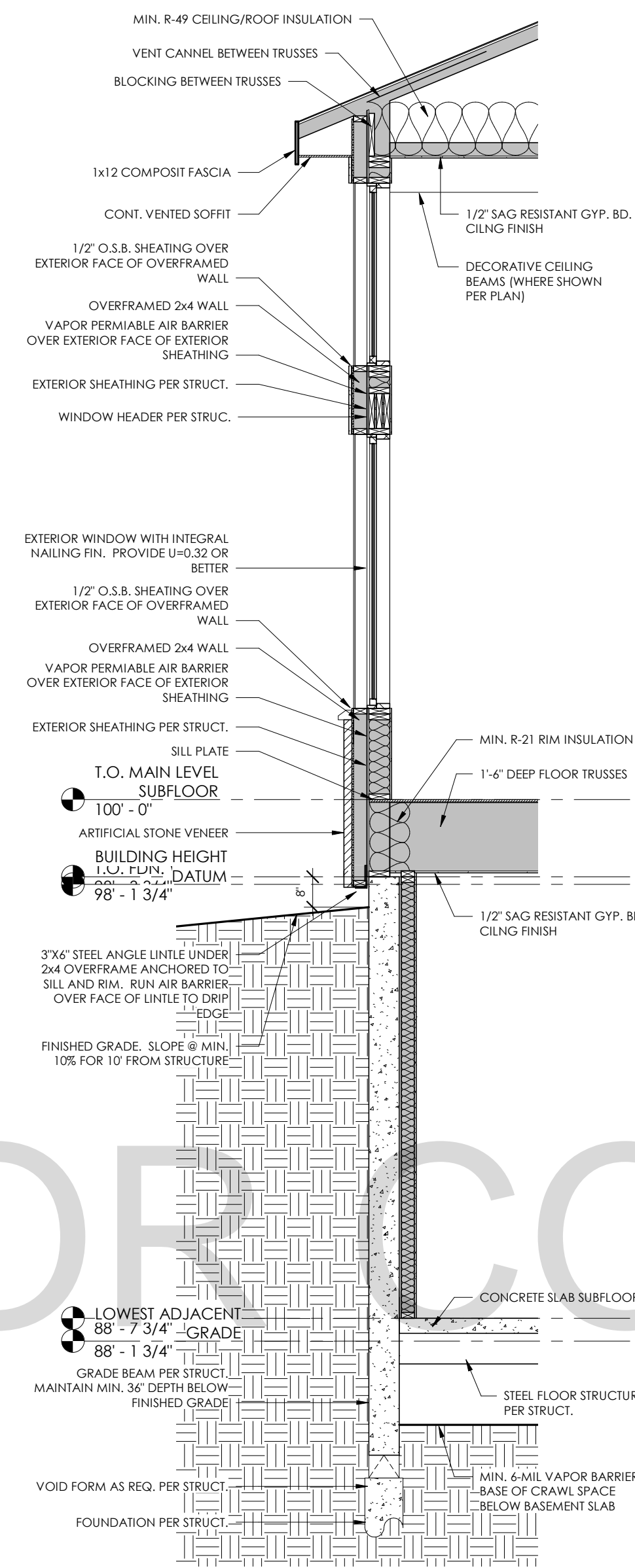
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FREDERICK, CO 80501  
PHONE: 303.800.8833  
mail@lodestonedesign.com  
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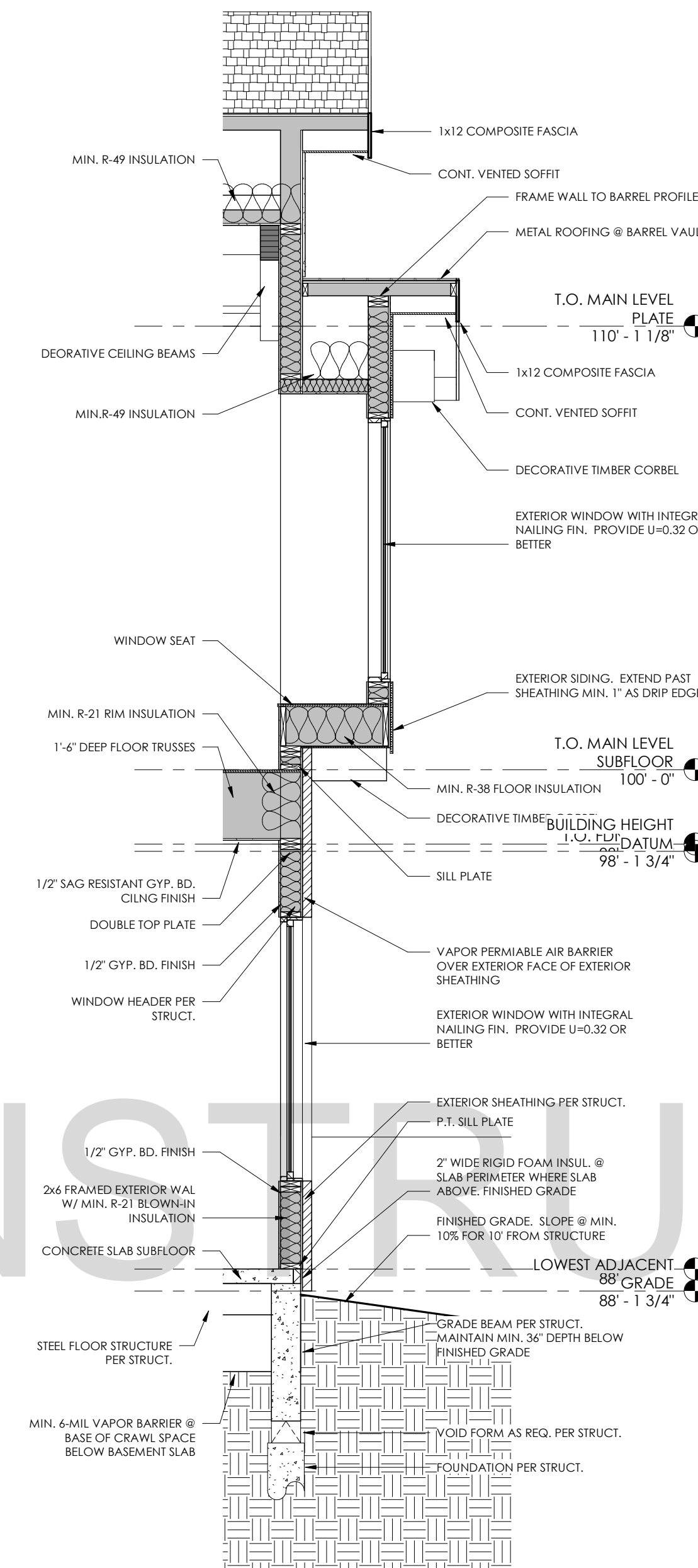


**A2.1**

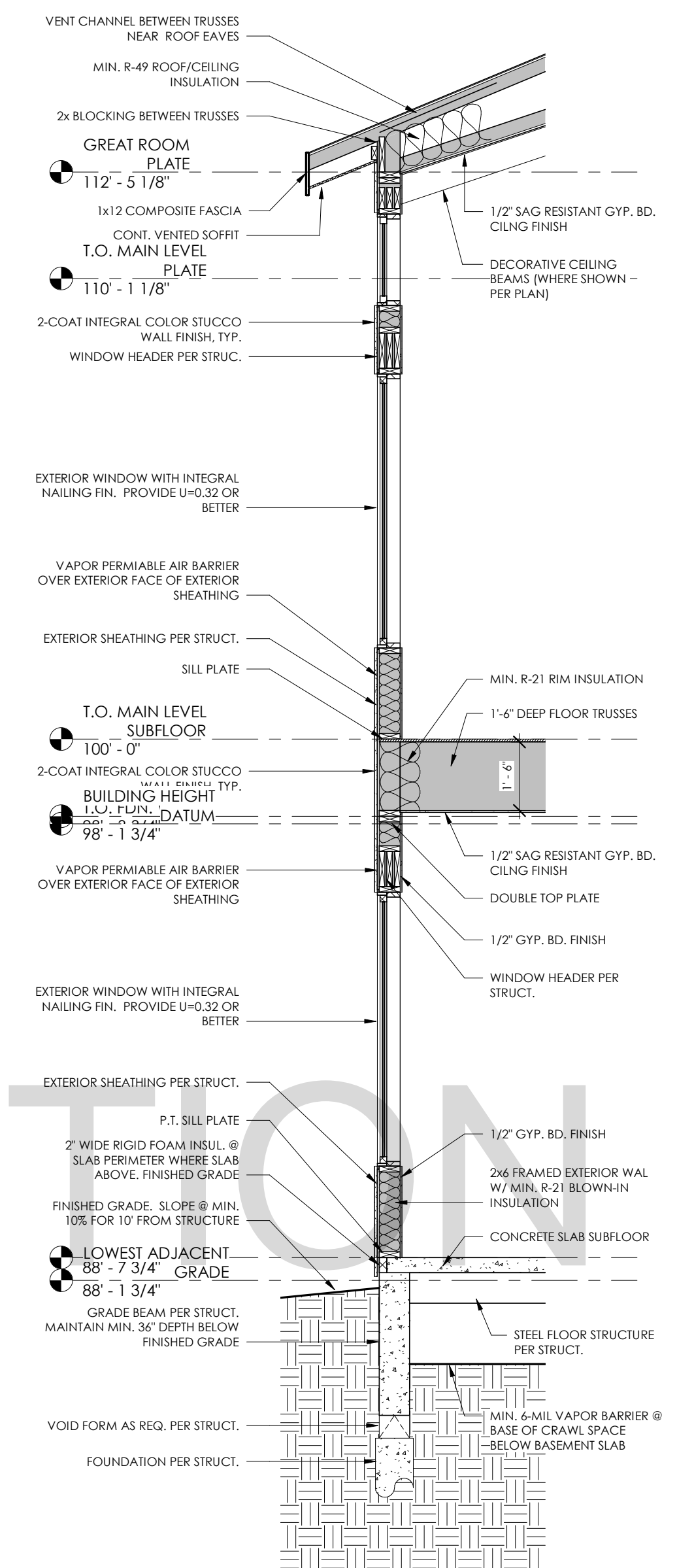
NOT FOR CONSTRUCTION



3 DOUBLE FRAMED WALL SECTION  
SCALE: 1/2" = 1'-0"



2 WINDOW SEAT SECTION  
SCALE: 1/2" = 1'-0"



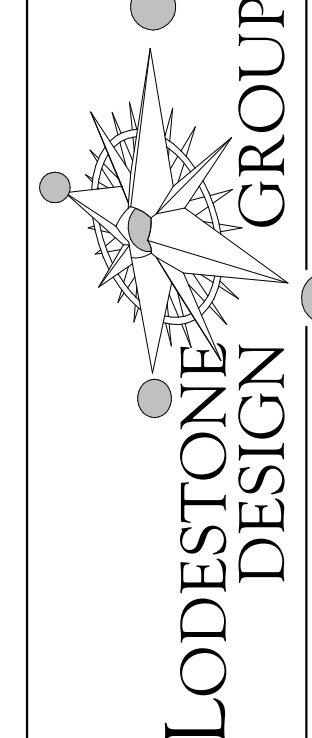
1 TYPICAL WALL SECTION  
SCALE: 1/2" = 1'-0"

SMITH RESIDENCE  
123 S MAIN STREET  
WELD COUNTY, COLORADO

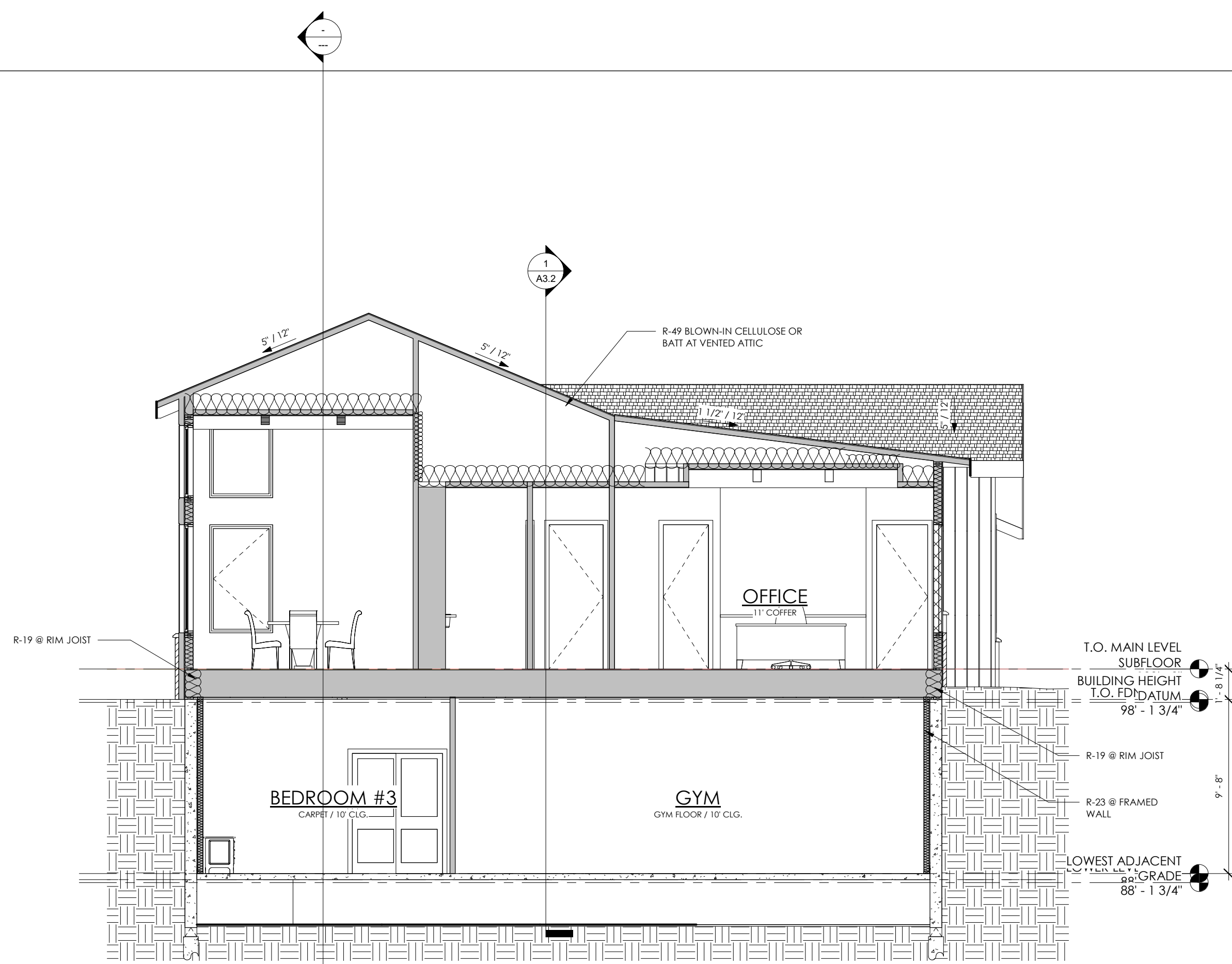
PROJECT #:	00-000	
DRAWING TITLE:		
WALL SECTIONS		
DATE:		
DRAWN:	CHECKED:	
ISSUE RECORD DATE	NOT FOR CONSTRUCTION	
#	REVISION	DATE

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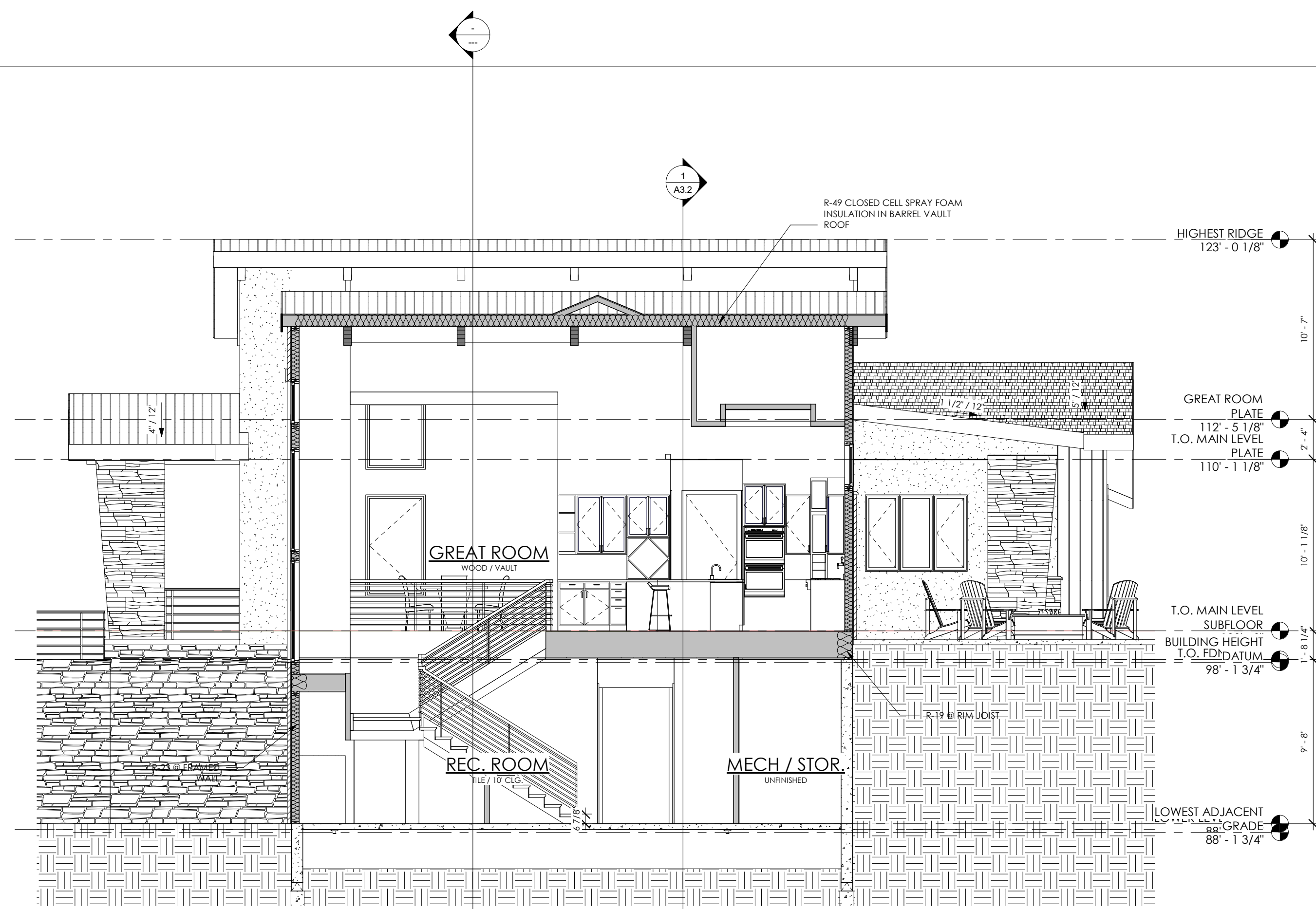
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A3.0

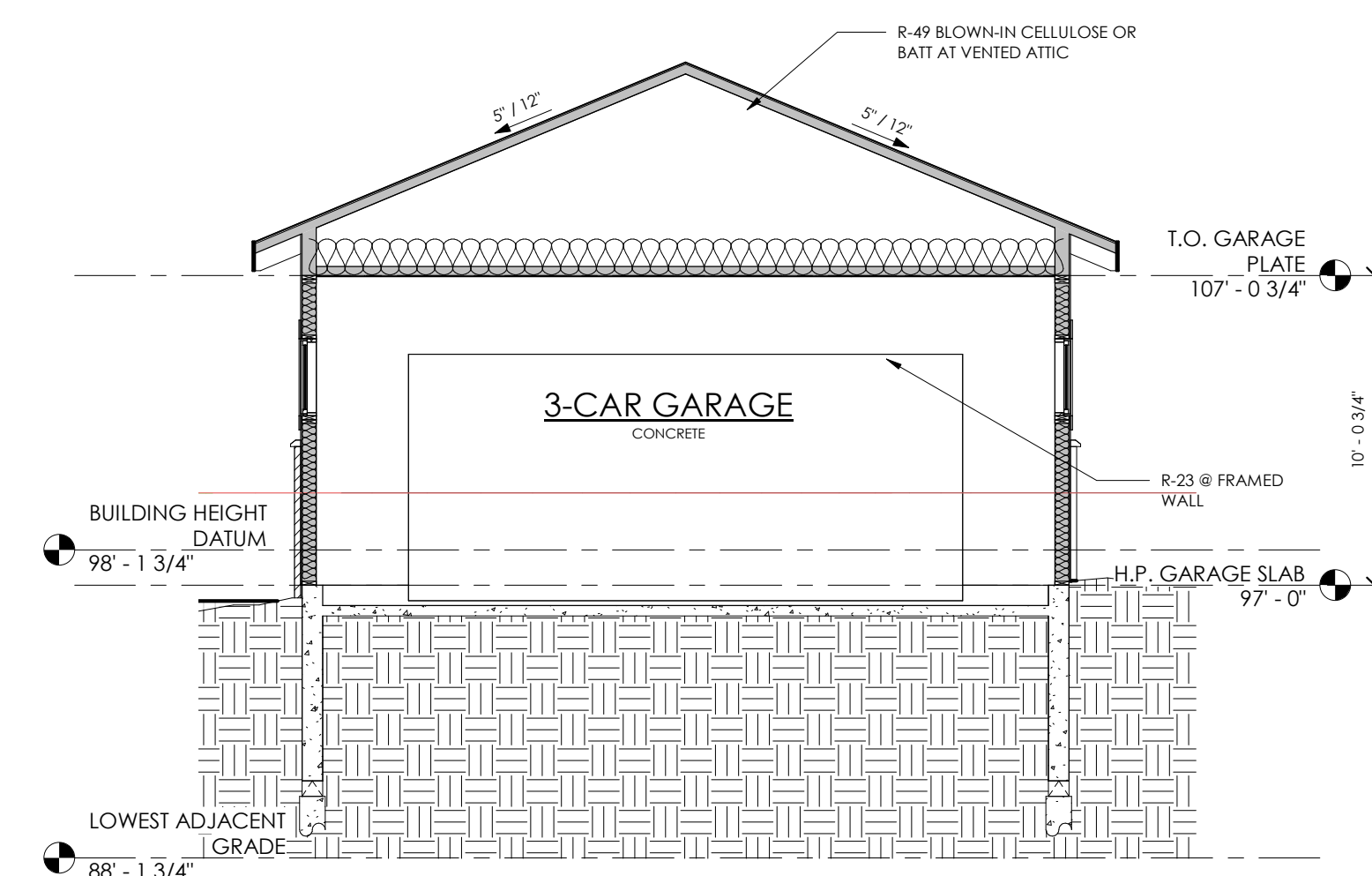


2 DINING ROOM SECTION  
SCALE: 1/4" = 1'-0"



1 KITCHEN/STAIR SECTION  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



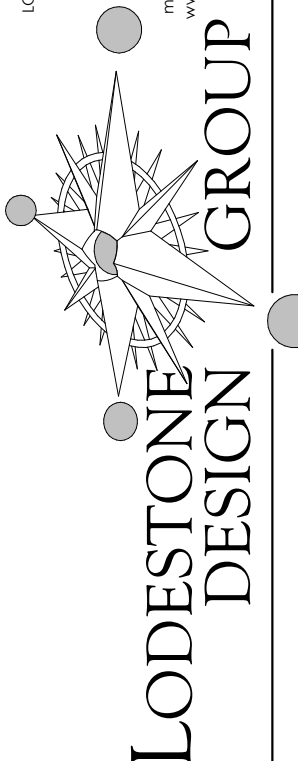
3 GARAGE SECTION  
SCALE: 1/4" = 1'-0"

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123 S MAIN STREET  
WELD COUNTY, COLORADO

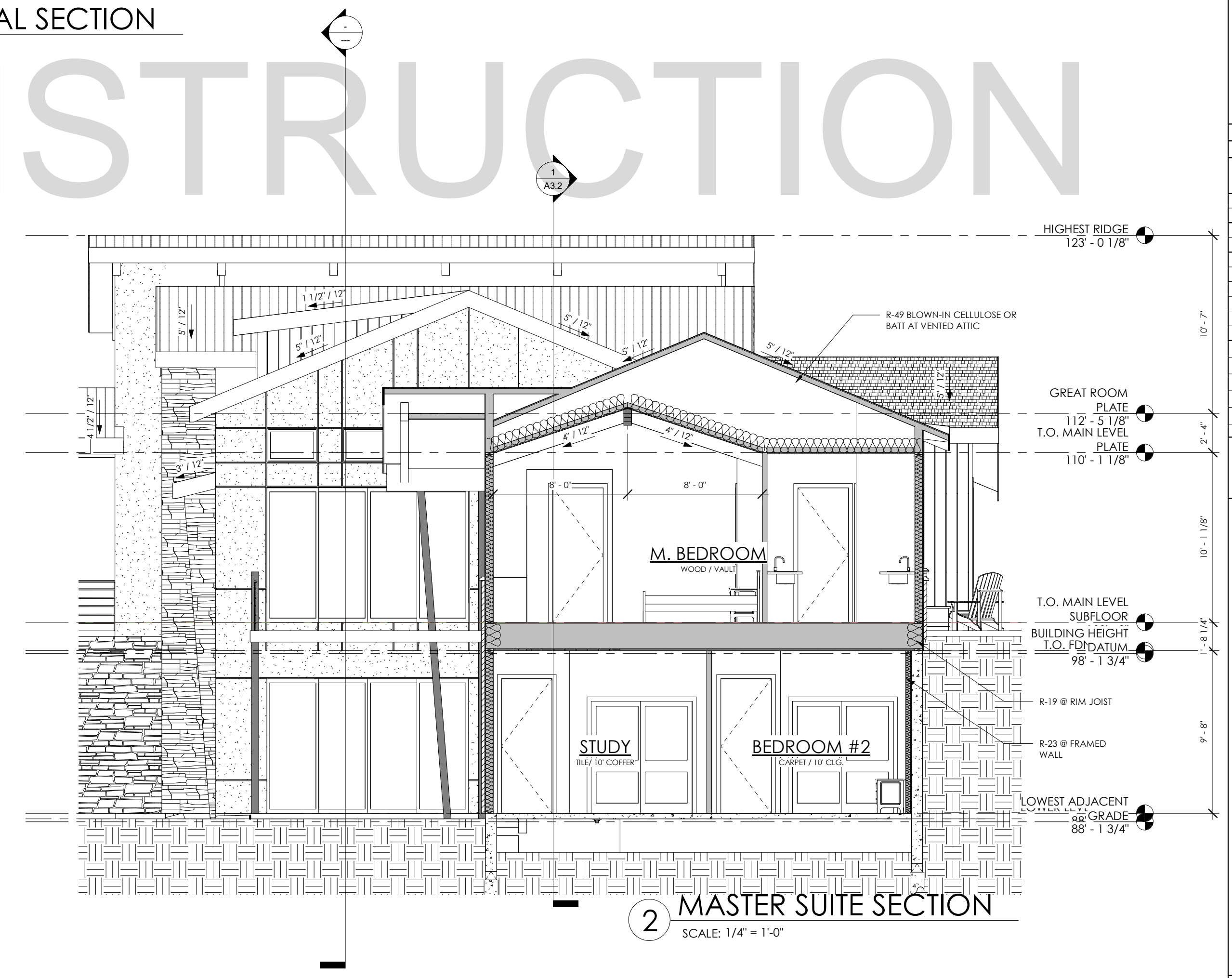
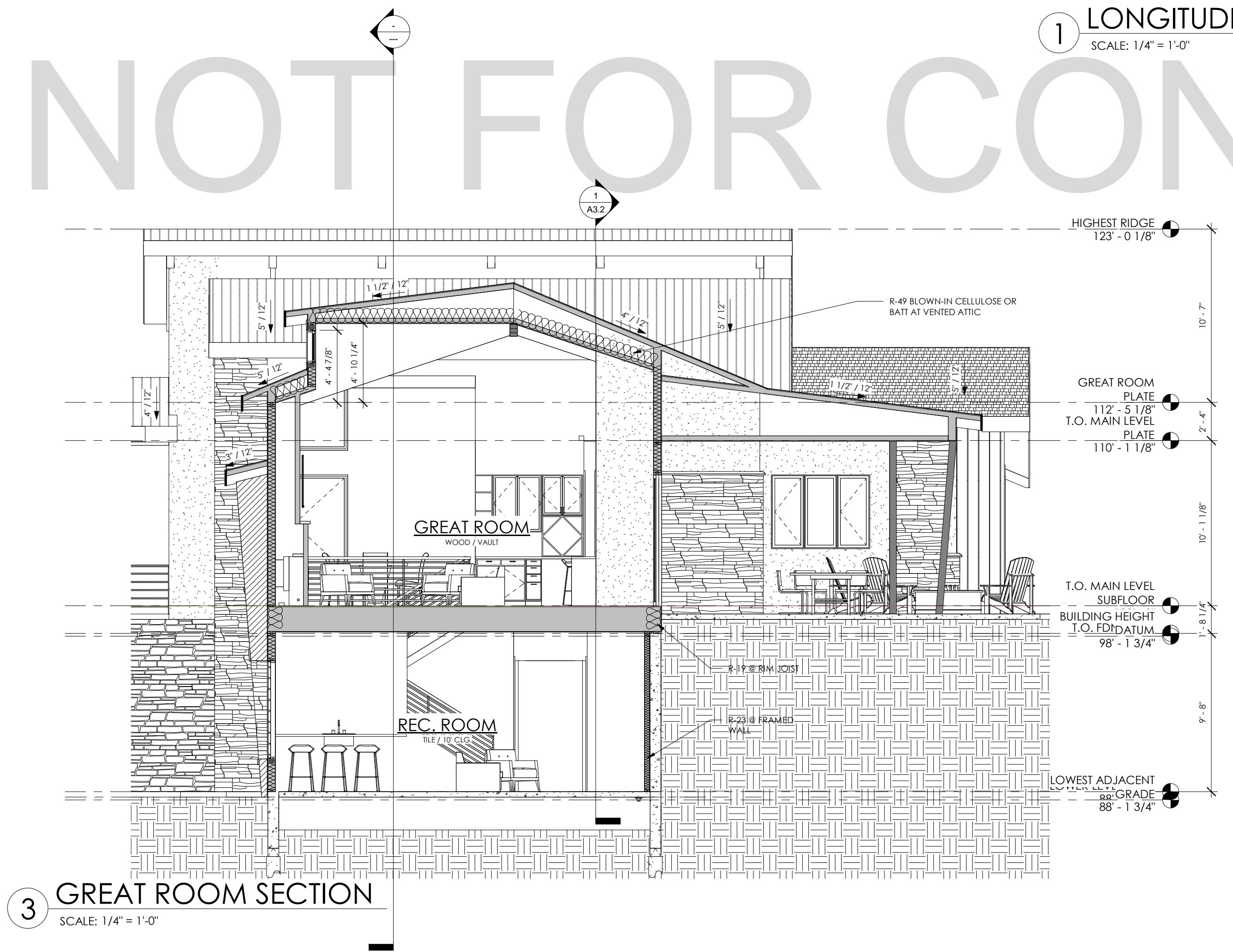
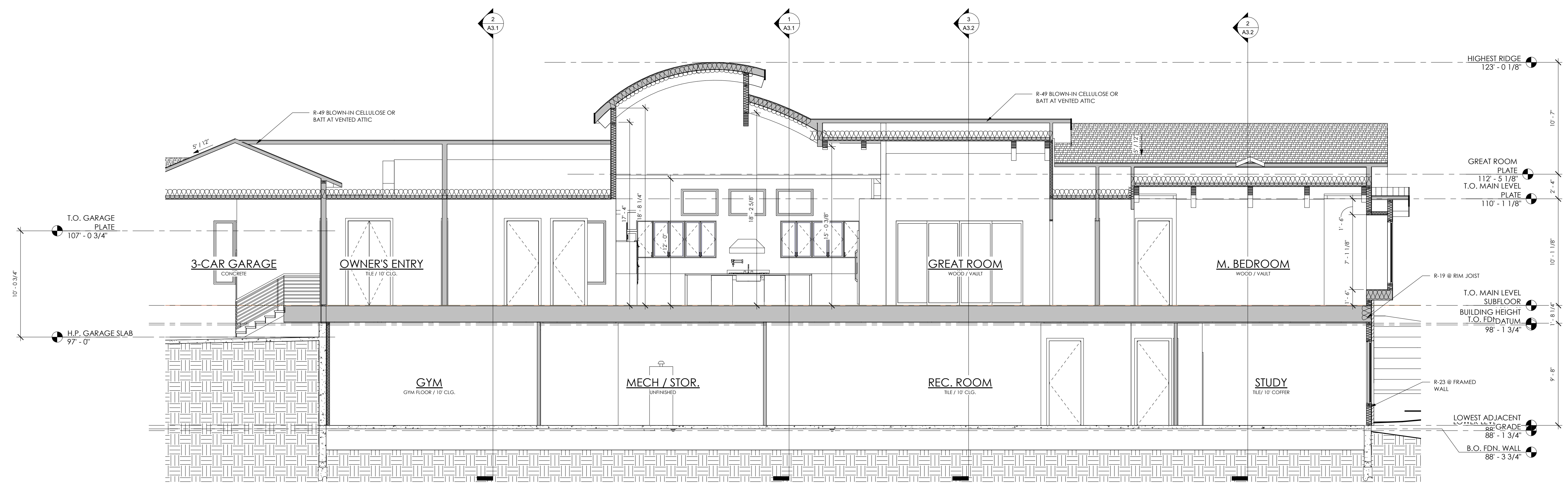
PROJECT #:	00-000	
DRAWING TITLE:	BUILDING SECTIONS	
DATE:		
DRAWN:	CHECKED:	
ISSUE RECORD DATE	NOT FOR CONSTRUCTION	
#	REVISION	DATE

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A3.1



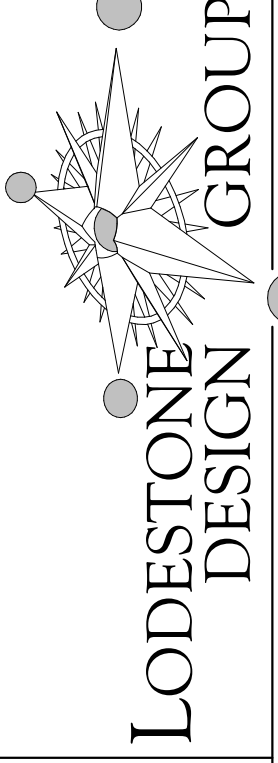
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SMITH RESIDENCE  
123 S MAIN STREET  
WELD COUNTY, COLORADO

PROJECT #:	00-000	
DRAWING TITLE:		
BUILDING SECTIONS		
DATE:		
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A3.2

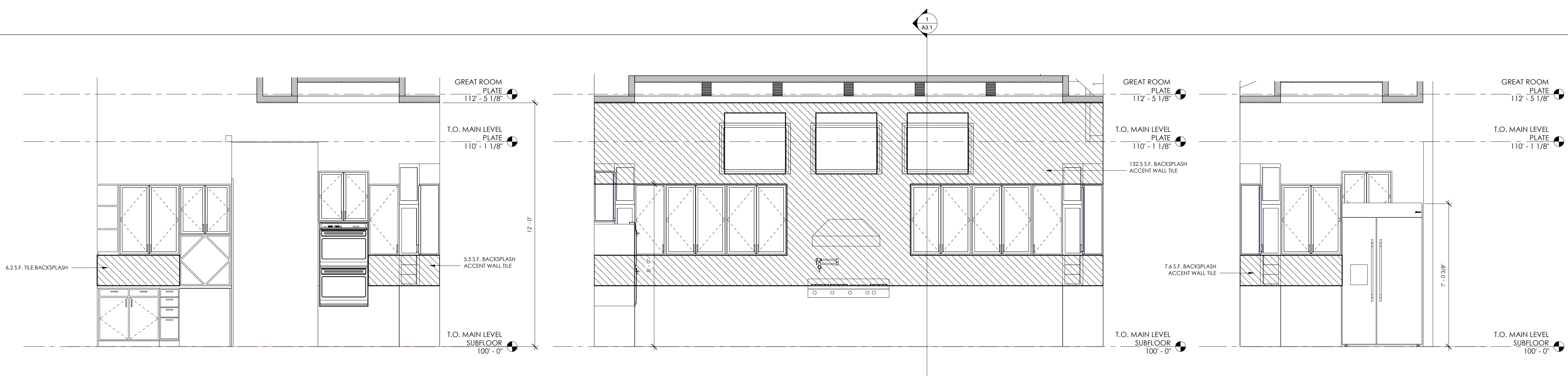
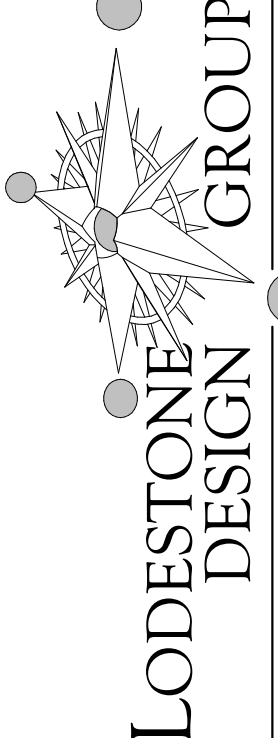
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 WELD COUNTY, COLORADO

PROJECT #: 00-000  
 DRAWING TITLE:  
 INTERIOR ELEVATIONS  
 DATE:  
 DRAWN: CHECKED:  
 ISSUE RECORD DATE  
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 CONSTRUCTION

#	REVISION	DATE

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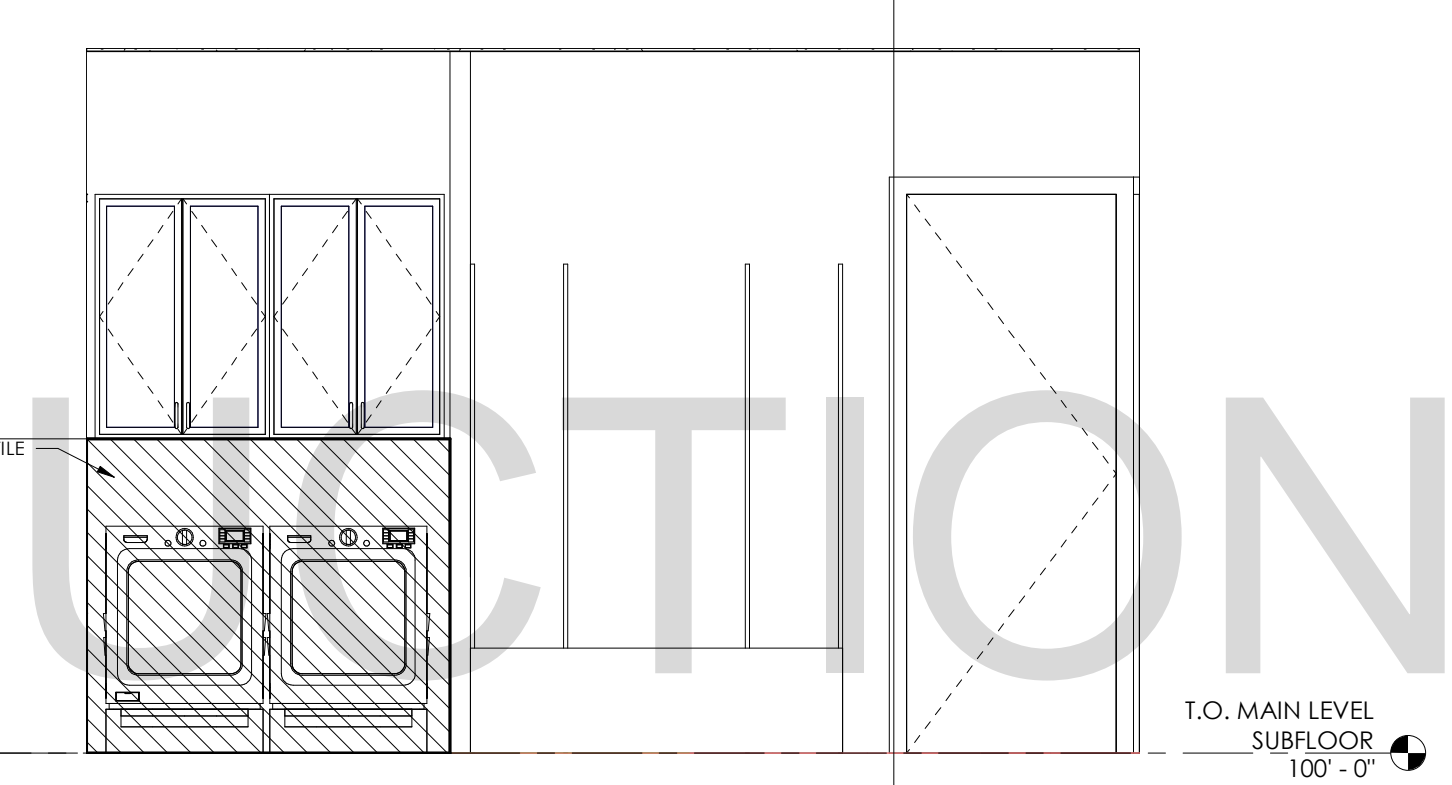
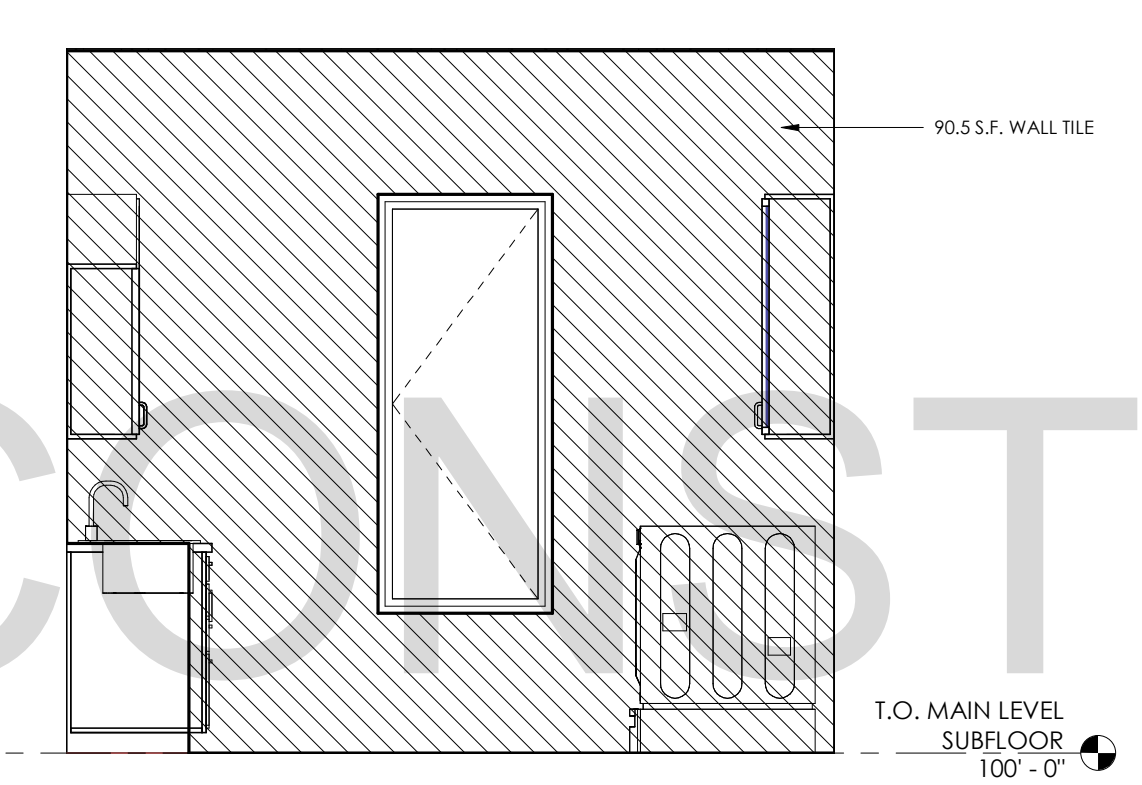
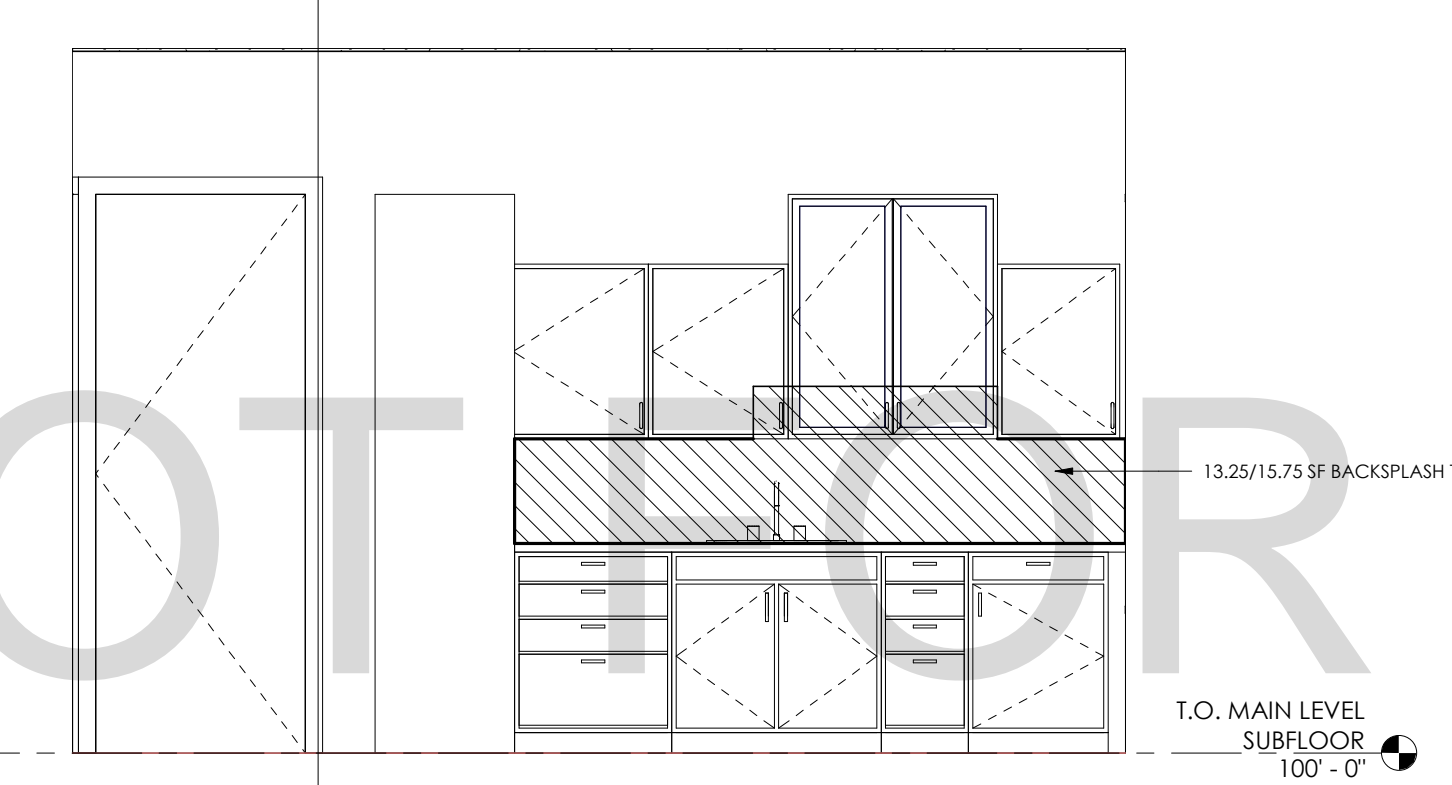
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**2 KITCHEN - EAST**  
 SCALE: 1/2" = 1'-0"

**1 KITCHEN - SOUTH**  
 SCALE: 1/2" = 1'-0"

**3 KITCHEN - WEST**  
 SCALE: 1/2" = 1'-0"

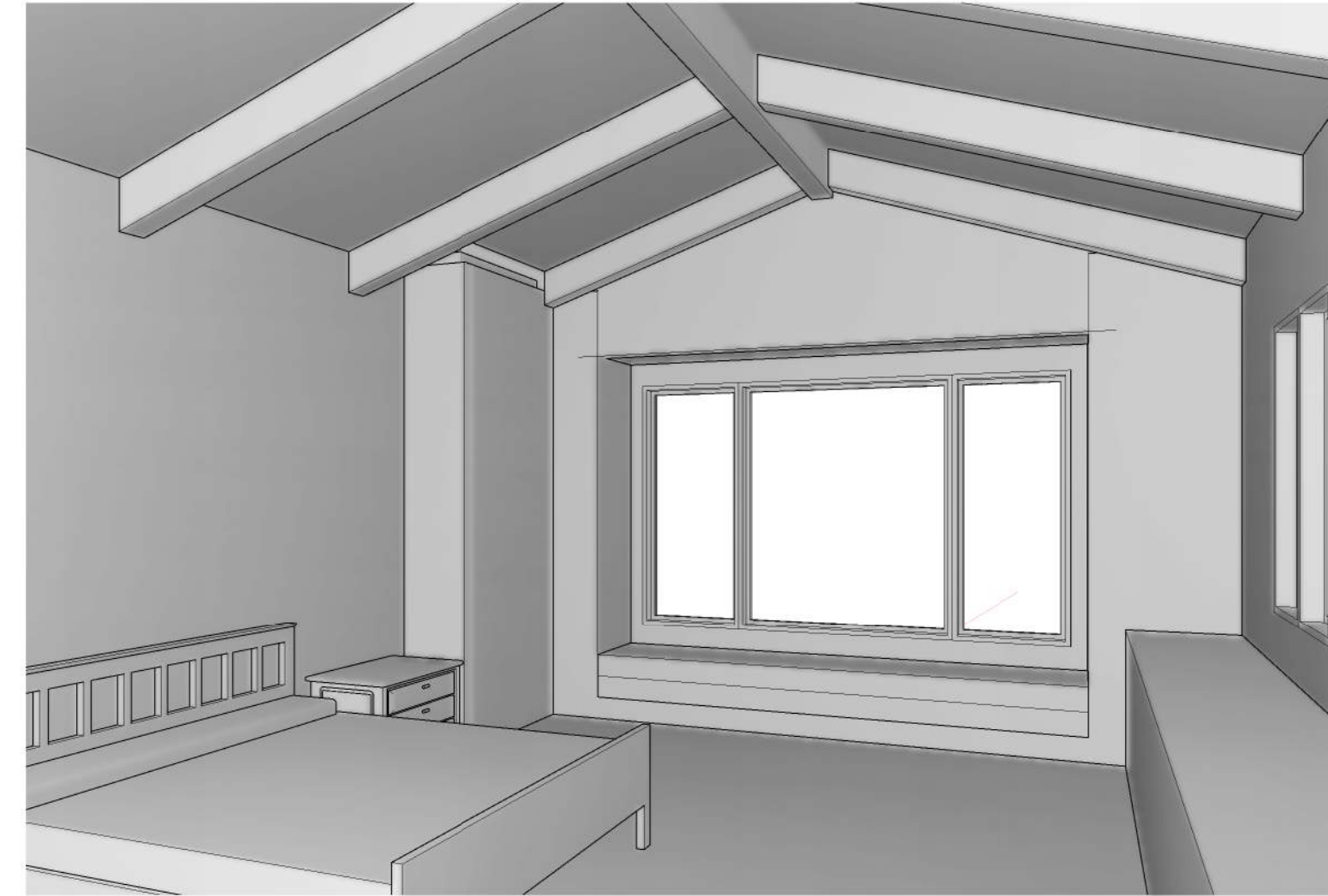


**5 LAUNDRY - WEST**  
 SCALE: 1/2" = 1'-0"

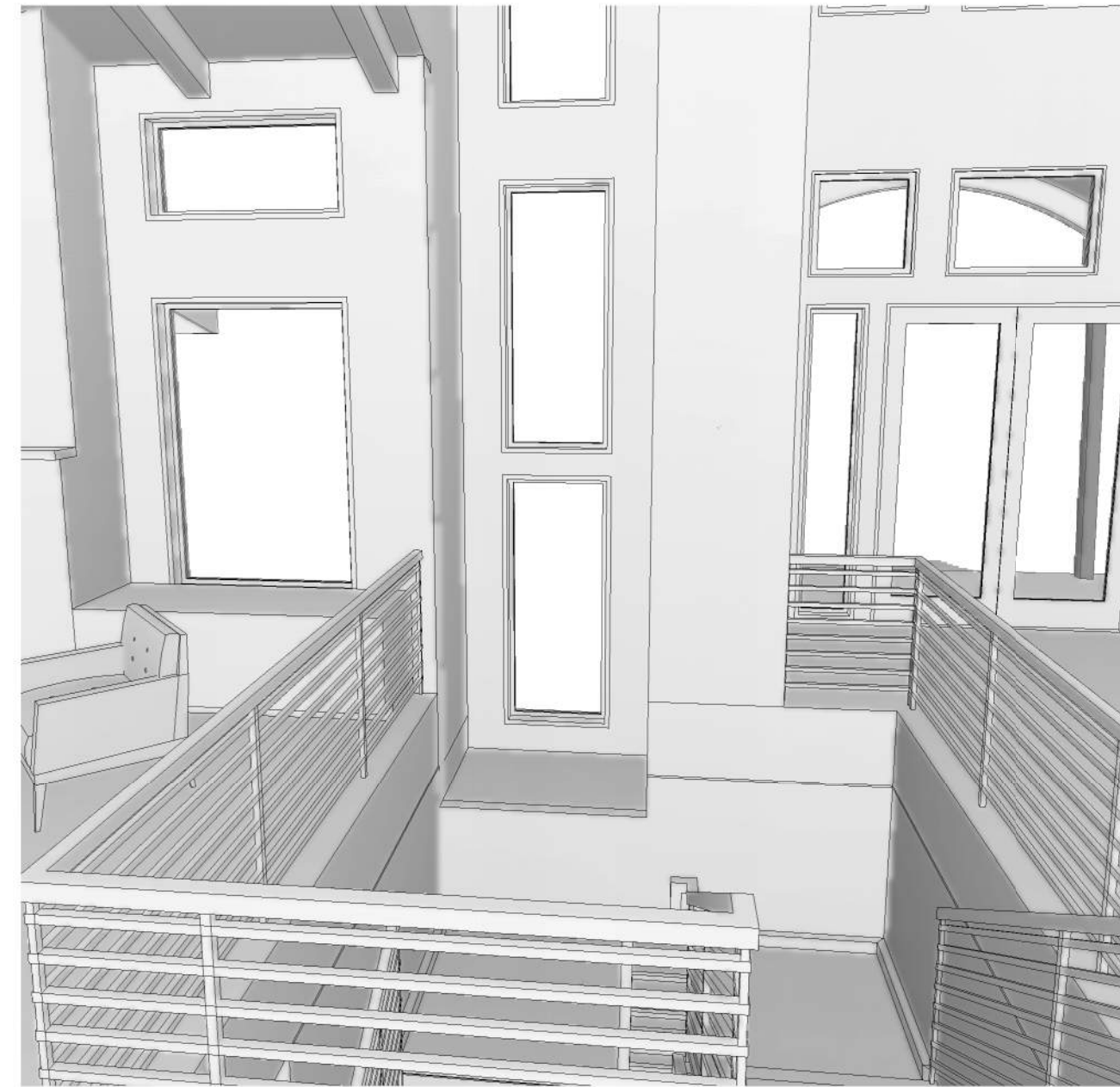
**4 LAUNDRY-NORTH**  
 SCALE: 1/2" = 1'-0"

**6 LAUNDRY - EAST**  
 SCALE: 1/2" = 1'-0"

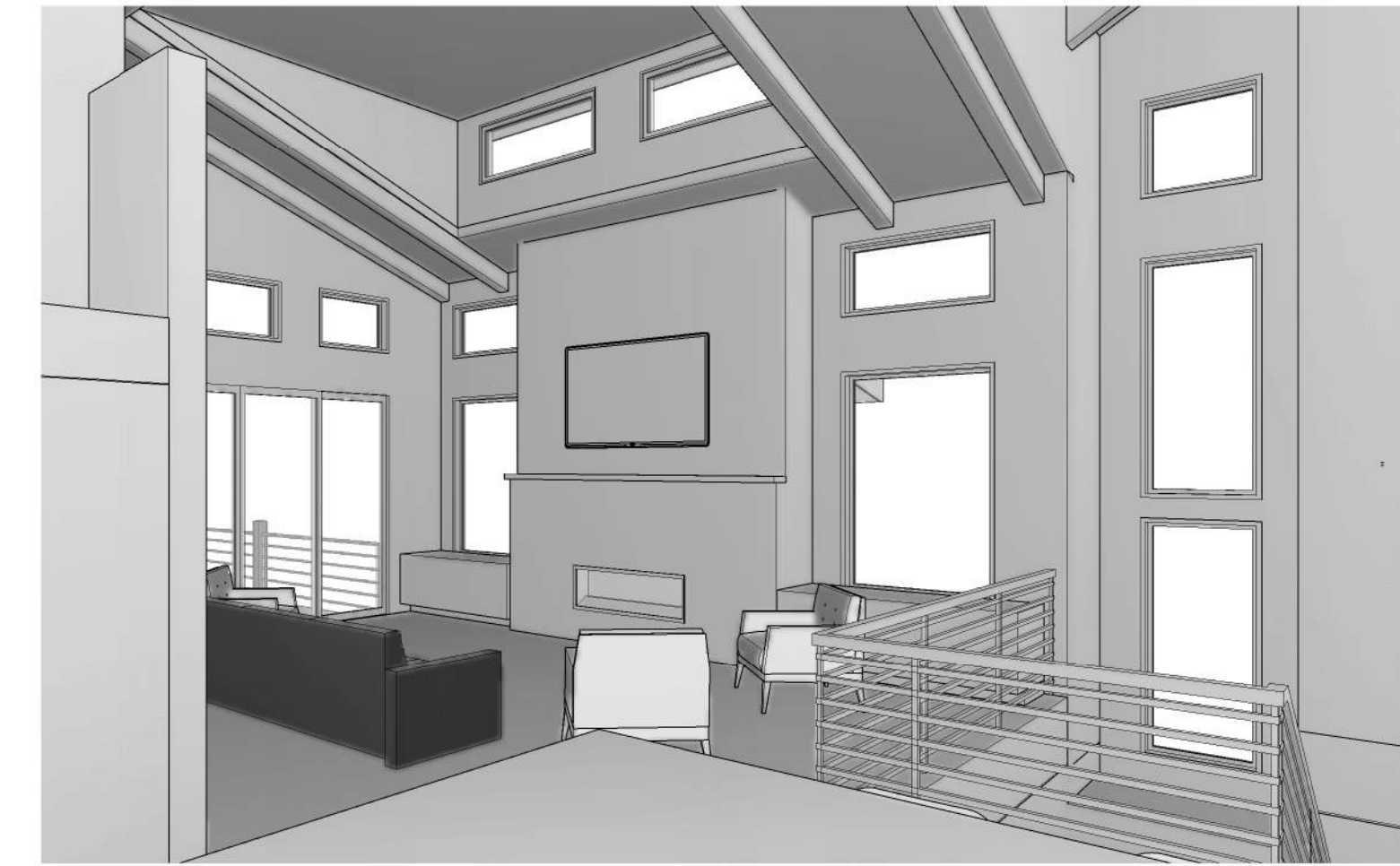
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7 INTERIOR - MASTER BEDROOM  
SCALE:



4 INTERIOR - STAIRWELL  
SCALE:



1 INTERIOR - GREAT ROOM 1  
SCALE:



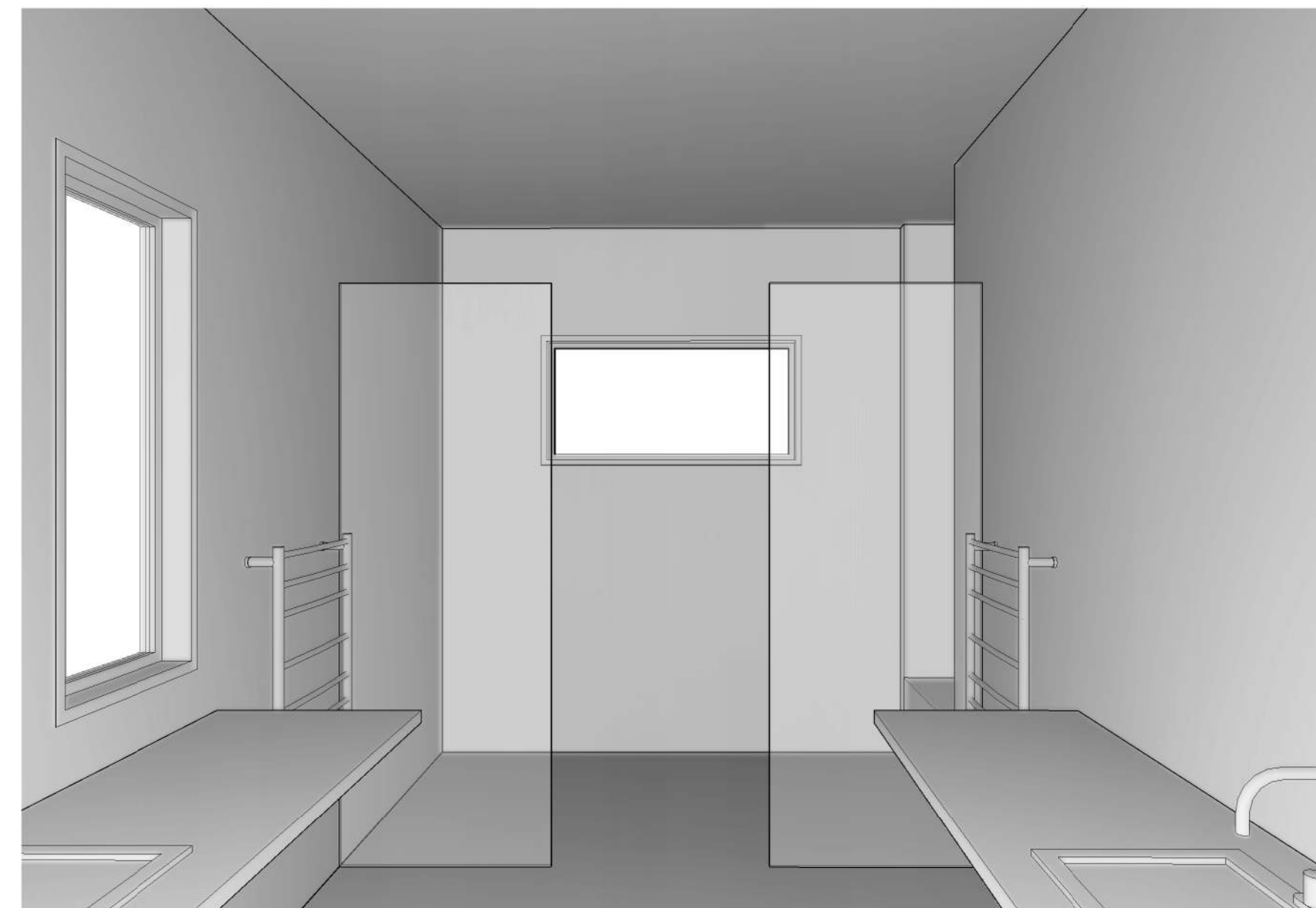
8 INTERIOR - ENTRY BARREL 2  
SCALE:



5 INTERIOR - REC. ROOM  
SCALE:



2 INTERIOR - GREAT ROOM 2  
SCALE:



6 INTERIOR - MASTER BATHROOM  
SCALE:



3 INTERIOR - ENTRY BARREL  
SCALE:

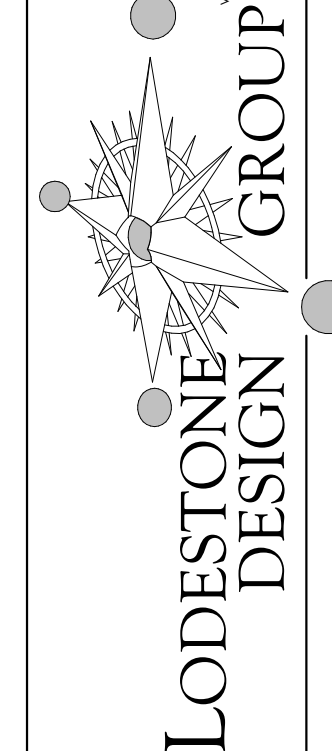
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PROJECT #: 00-000  
DRAWING TITLE:  
INTERIOR VIEWS  
DATE:  
DRAWN: CHECKED:  
ISSUE RECORD DATE  
NOT FOR  
CONSTRUCTION

#	REVISION	DATE

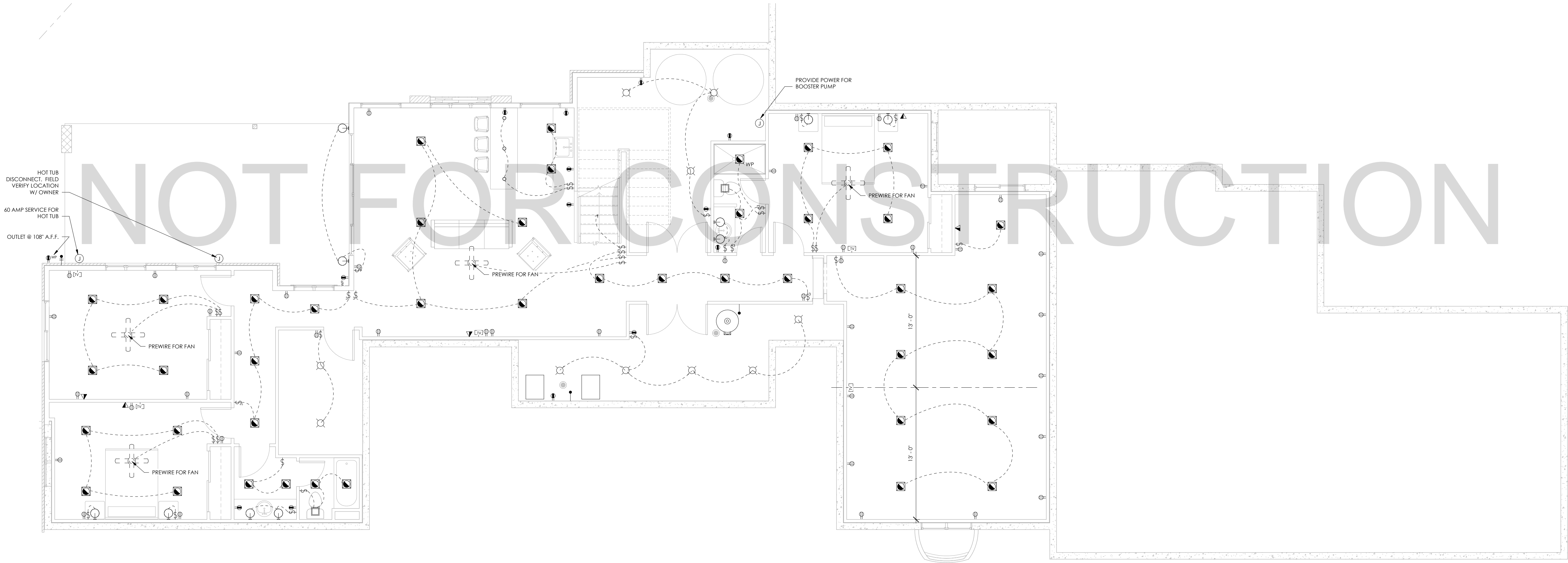
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A4.2

ELECTRICAL LEGEND			
Switch	Hall-switched Duplex power outlet	Phone jack	5' built-green certified sealed directional recessed fan light fixture
Switch-three way	220 power outlet	Cat. 5 data jack	Chandelier light fixture
Switch-four way	Ceiling outlet	Paired phone and Cat. 5 data jack	Wall mounted light fixture
Switch-dimmer	Floor outlet	T.V. Outlet	Exhaust fan
Duplex power outlet	Junction Box	Track light	Exhaust fan and light
G.F.C.I. Duplex power outlet	Hose Bibb	Ceiling mount 2-lamp 4'-0" fluorescent light fixture	Under cabinet fixture
Exterior Waterproof G.F.C.I. Duplex power outlet	Gas Bibb	Ceiling mount light fixture	5' Recessed Can Light Fixture
Under Counter G.F.C.I. Duplex power outlet	Motor / Disposal	5' Waterproof Recessed Can Light Fixture	Service panel
	Chime Button (doorbell)		
	Doorbell Chime		
	Combination carbon-monoxide and smoke detector		



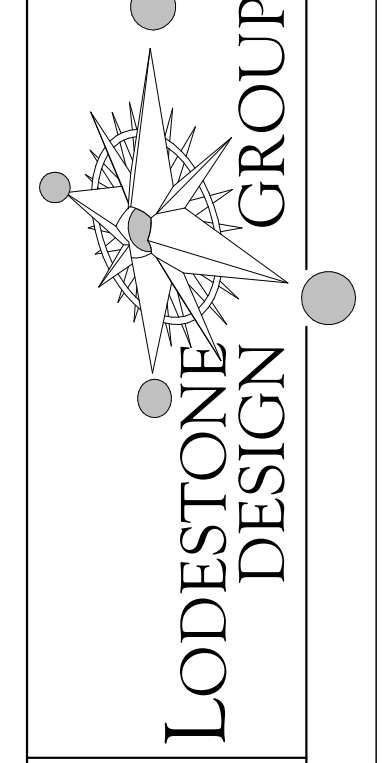
1 LOWER LEVEL ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

SMITH RESIDENCE  
123 S MAIN STREET  
WELD COUNTY, COLORADO

PROJECT #:	00-000	
DRAWING TITLE:	LOWER LEVEL ELECTRICAL PLAN	
DATE:		
DRAWN:	CHECKED:	
ISSUE RECORD DATE	NOT FOR CONSTRUCTION	
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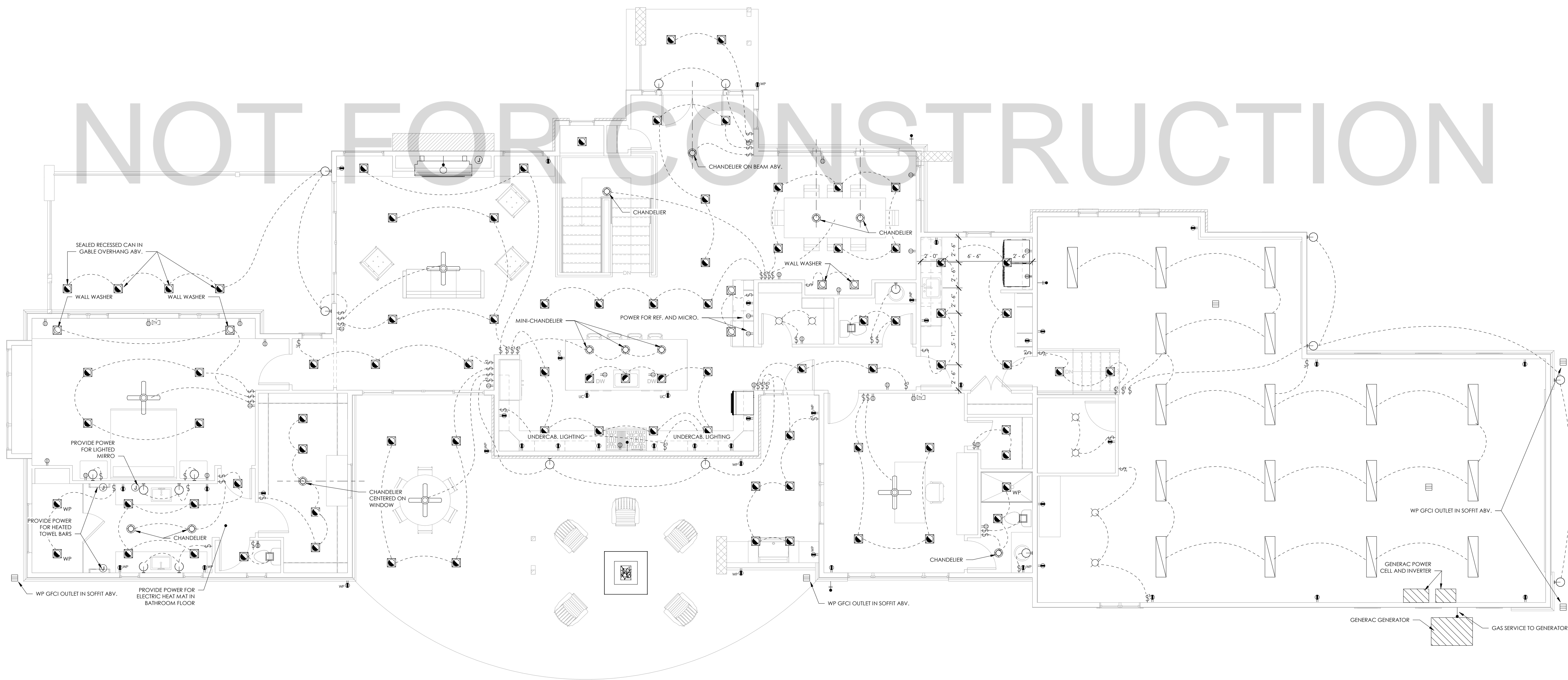
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E1.0

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ELECTRICAL LEGEND			
Switch	Half-switched Duplex power outlet	Phone jack	5' built-green certified sealed directional recessed can light fixture
Switch-three way	220 power outlet	Cat. 5 data jack	5' built-green certified sealed directional recessed can light fixture
Switch-four way	Ceiling outlet	Paired phone and Cat. 5 data jack	Chandelier light fixture
Switch-dimmer	Floor outlet	T.V. Outlet	Wall mounted light fixture
Duplex power outlet	Junction Box	Track light	Exhaust fan
G.F.C.I.	Hose Bibb	Ceiling mount 2-lamp 4'-0" fluorescent light fixture	Exhaust fan and light
Duplex power outlet	Gas Bibb	Under cabinet fixture	Ceiling fan
Exterior Waterproof G.F.C.I.	Motor / Disposal	Ceiling mount light fixture	Service panel
Duplex power outlet	Chime Button (doorbell)	5' Recessed Can Light Fixture	
Under Counter G.F.C.I.	Doorbell Chime	5' Waterproof Recessed Can Light Fixture	
Duplex power outlet	Combination carbon-monoxide and smoke detector	WP	

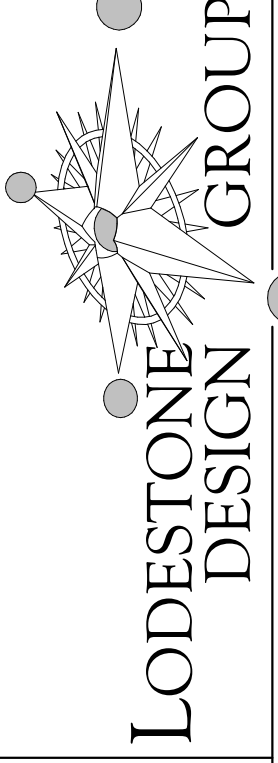


**SMITH RESIDENCE**  
123 S MAIN STREET  
WELD COUNTY, COLORADO

PROJECT #:	00-000	
DRAWING TITLE:	MAIN LEVEL ELECTRICAL PLAN	
DATE:		
DRAWN:	CHECKED:	
ISSUE RECORD DATE	NOT FOR CONSTRUCTION	
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**1 MAIN LEVEL ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**E1.1**